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February 22, 2022

The Ritchie Group
West Quarter – Block C
Salt Lake City, UT

Project Narrative

The project site occupies the mid-black lot along 200 South between 300 West and 200 West. This Lot is the first lot to be developed in Phase II of the West Quarter Development. There is one existing building which is currently on the site. The building will be demolished and removed as part of the redevelopment of this lot and the adjacent lot directly to the East at the corner of 200 South and 200 West. The adjacent site will be developed in the next phase of the West Quarter Development

A mid-black road, Quarter Row, will be continued down from Phase I and connect to 200 South. This road will contain a public easement.

This project will deliver a 16 story building comprised of retail, parking, and residential uses. (See enclosed plans). The streetscape will host 2 or 3 different retail spaces, consisting of a combined 21,400 sqft of retail space, as well as a 2,625 sqft residential lobby. Floors 02 through 08 will consist of a parking deck wrapped in residential units. Then the final 8 levels, floors 09 through 16 will be strictly residential and the associated amenity spaces. The entire structure will be a Type 1A building with a cast in place concrete structural system. There will be an amenity courtyard located on top of the parking deck at Level 09 with a swimming pool. In total the project will provide 323 residential units, in a mix of studio, 1, 2 and 3 bedroom options ranging from 350 sqft to 1,350 sqft..

The exterior materials, as shown in the renders and elevations will be brick, masonry block, metal panel and a poly-mesh garage screen with a monochromatic printed image. The exact image / art piece displayed on the screen will be finalized at a later date. Signage for the building and retail spaces will comply with the Downtown Ordinances guidance on signage and be determined and placed at a later date based on retail tenants.

The parking deck will be a double ramp design with a speed ramp between level one and level two. 343 parking spaces will be provided. The overall all unit density will be around 235 units/acre.

Given the close proximity to both the Arena Trax Station and the Temple Square Station, we believe that this design will not only meet the City's vision for this downtown district but will also enhance the area by adding a walkable, active, transit-oriented, multi-family option for City's Residents on a lot which has a vacant structure.



We have detailed our intentions to meet the design standards listed in 21A.59.050 as described below:

B. Development shall be primarily oriented to the sidewalk, not an interior courtyard or parking lot.

- 1.) Primary Entrances face the public sidewalk (secondary entrances can face the parking lot.)
 - a. West Quarter – Block C Apartments will have a predominant retail entry located along 200 South as well as a main residential lobby entrance along Quarter Row.

Vehicular access is provided on the north side of the site on an interior street off Quarter Row.

- 2.) Building(s) shall be cited close to the public sidewalk, following and responding to the desired development patterns of the neighborhood.

- a. Block C's ground level Façade stands at the property line/sidewalk edge at 200 South and is set back along Quarter Row as shown on the attached plans. The majority of the building ground floor facade is lined with two story storefront glass windows providing views of the complex's leasing, lobby & retail. The setback along Quarter Row allow for a fluid pedestrian experience while providing potential for outdoor dining experiences for any restaurants which may lease the ground floor commercial spaces.

- 3.) Parking shall be located within, behind or to the side of the building.

- a. An enclosed parking structure is located on Levels 02 thru 08 and are wrapped by residential units on the entire south façade as well as the majority of the East and West Façade. Where the garage is not wrapped by residential program the garage is screened with a moly-mesh screen which will have a printed monochromatic image. The entire garage will be hidden from pedestrian view. Vehicle access is located on a street accessed via quarter row on the north side of the lot.

The streetscape along Quarter Row will match the look, feel and design intent that has been developed in Phase I. This will enhance the pedestrian experience and link all phases for the district's re-development into a seamless, walkable experience. The garage access area, to the west of Quarter Row, will be clad in a dark split face block and be subdued in appearance as to not attract attention away from the mid-block pedestrian experience and main facades of the building.

C. Building Facades shall include detailing and glass in sufficient quantities to facilitate pedestrian interest & interaction.

- 1.) Locate active ground floor uses at or near the public sidewalk.

- a. The apartment complex's entry lobby, and retail are all located along both the mid-block road, Quarter-Row, and the public sidewalk of 200 South.

- 2.) Maximize transparency of ground floor facades

- a. The ground floor has been designed with large floor-to-ceiling two story windows at the residential lobby and retail not only maximizing the transparency of the ground floor at the sidewalk but creating sight lines into the complex's active areas. Glass storefront is maximized on the 200 South façade and wraps the corner to Quarter Row to provide an inviting corner façade.

- 3.) Use or reinterpret traditional store front elements like sign bands, clerestory glazing articulation and architectural detail at window transitions.

- a. *The ground floor glazing at the corner of 200 South and Quarter Row will be accented by both Dark and Light Brick Units, steel overhead window-awnings and a few warm wood-like screening elements. The storefront windows will have dark mullions and are separated by brick piers of considerable mass creating a visual contrast from the transparent glass. Signage*



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will be provided based off of SLC Signage ordinance once retail tenants are in place to help provide feedback on how to best enhance the pedestrian experience.

D. Large masses shall be dividing into heights and sizes that relate to human scale.

- 1.) Relate building scale and massing to the size and scale of existing and anticipated buildings such as alignment established cornice heights building massing, step-backs and vertical emphasis.
 - a. Vertical emphasis is created at street level through floor-to-ceiling glass that spans the 20' tall first level, along with awnings, brick piers, and marquee elements. Steel awnings bisect the floor-to-ceiling windows which provide a "grounding" element that emphasizes the human-scale factor. The building is further broken down along 200 South by a large 2 story terrace to help articulate the base versus the mid part of the building of the 7-story building. Along 200 South the majority of the building height significant steps back to provide expansive outdoor roof top amenity space to residence and opens an amazing visual presence to the existing Historic Warehouse.
- 2.) Modulate the design of a larger building using a series of vertical or horizontal emphases to equate with the scale (heights & widths) of the building in context to reduce the visual width or height.
 - a. Both vertical and horizontal emphases has been placed with this project to reduce the visual massing from both 200 South and Quarter Row.

Along 200 South, above level 2 and 3 recess from the street providing relief in the mass of the building. Metal clad volumes also punctuate the upper residential floors providing visual interest and breaking down the overall building into small, related pieces and elements.
- 3.) Include secondary elements such as balconies porches vertical bays, belt courses fenestration & window reveals.
 - a. Secondary elements have been included in the design of the project. You will find both recessed and a mix of fenestrations varying in size and shape depending on locations. Color and material variations and several other elements throughout the development.
- 4.) Reflect scale & solid-to-void ratio of windows and doors of the established character of the neighborhood or that which is desired in the master plan.
 - a. Window Glazing at ground level has maximized at areas of the Residential Lobby and Retail Spaces.

E. Building facades that exceed a combined contiguous length of 200' shall include:

- 1.) Changes in vertical plane (breaks in façade)
- 2.) Material Changes
- 3.) Massing Changes
 - a. We have provided changes in vertical plane through the varying of unit footprint, building layout, material transitions, and balcony recesses.

F. If provided, privately owned public spaces shall include at least three (3) of the six (6) following Elements

- 1.) Sitting space of at least one sitting space for each 250 sq ft shall be included in the plaza. Seating shall be a minimum of 16" in height and 30" in width. Ledge benches shall have a minimum depth of 30".
- 2.) A Mixture of areas that provide seasonal shade
- 3.) Trees in Proportion to the space, at a minimum of one tree per 800 square feet at least 2" in caliber.
- 4.) Water Features or public art
- 5.) Outdoor dining areas



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6.) Other amenities not listed above that provide a public benefit

- a. At the corner of 200 South and Quarter Row there is a covered Arcade area which will provide a prominent entry for retailers along with potential outdoor seating in future retail tenants' desire such space. Outdoor dining, shade, and sitting space will be provided.

G. Building height shall be modified to relate to human scale and minimize the negative impacts.

1.) Human Scale

- a. The building has a distinct brick and glazing base, which articulates the ground floor retail experience and sets a human scale streetscape. A combination of floor-to-ceiling glazing along with metal panel cladding articulates the upper portions of the building creating visual interest from a distance and from adjacent buildings. The differentiation in materials and articulation helps to communicate the differing program with commercial spaces at ground level and residences above. (See renderings & elevations).
- b. The vertical mixed use on the structure is articulated via a bottom middle and top. The bottom retail is highlighted by a brick base. The middle of the building utilizes large volumes clad in metal panels to break down the building mass and creates visual interest along with the balconies which add additional articulation to the middle of the building. The top of the building is highlighted by a band of glazing and a continuous metal clad parapet.

2.) Negative Impacts

- a. See explanations of building modulations in "Human Scale" Above. See Renderings & Elevations.
- b. The shadow/shade conditions on the streetscape are mitigated by the building being primarily oriented north-south and having a generous setback on the east side of the building. This setback allows more afternoon sun and light to reach Quarter Row.
- c. Wind Impacts – no impact different from neighboring buildings of similar height in West Quarter Phase I.

3.) Cornices & Rooflines

- a. West Quarter Block C has a continuous consistent Parapet height, consistent with the look and feel of the buildings adjacent in Phase I as well as other contemporary High-rise buildings in the downtown district. The 16th floor and parapet is articulated with a glazing and banding of metal panels to create a "top condition". (See Elevations and Renders).

H. Parking & Circulation shall be provided with an emphasis on making safe pedestrian connections to the sidewalk, transit facilities or midblock walkway.

- a.) The parking services are also hosted within the building and are screened and removed from the pedestrian experience from the street level. The entrance to these service areas are removed from the main road, Quarter Row, with a side service street, which further preserves the walk-able mid block road.

I. Waste and recycling containers, mechanical equipment, storage areas and loading docks shall be fully screened from public view and shall incorporate building materials and detailing compatible with the building being served. Service uses shall be set back from the front line of the building or located within the structure.

- a.) All waste & recycling containers, mechanical equipment, storage areas and loading docks are hosted within the building, removing them from the pedestrian experience. See Building plans.

J. Signage shall emphasize the pedestrian/mass transit orientation

1.) Define Specific spaces for signage that are integral to the design of the building.



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Signage for the complex will be located

- a. Along the South face of the building, visible traveling east/west on 200 South.
- b. Along the East face of the building, visible traveling north/south on Quarter Row.
- c. The South East corner of the Building, visible traveling east/West on 200 South and north/south on Quarter Row.
- d. On/above the steel awning along 200 South, as well as on Brick piers separating storefront elements along 200 South.
- e. Above the retail's doors along 200 South and Quarter Row
- f. On/above the steel awning along Quarter Row, as well as on Brick piers separating storefront elements along 200 South.
- g. Other possible locations for signage could include window signage for community or retail branding along 200 South and Quarter Row.

K. Lighting shall support pedestrian comfort and safety, neighborhood image , and dark sky goals.

- 1.) Provide street lights as indicated in the Salt Lake City Lighting Master Plan.
 - a. Street lighting will be in line with the Salt Lake City Master plan and match the approved street lighting scheme from Phase 1 of the development.
- 2.) Outdoor lighting should be designed for low-level illumination and to minimize glare and light trespass onto adjacent properties and up lighting directly to the sky.
 - a. All outdoor/landscape lighting will be low voltage lighting and will be positioned and designed to light landscape area and avoid glare, trespass and up light to sky.
- 3.) Coordinate lighting with architecture, signage, and pedestrian circulation to accentuate significant building features, improve sign legibility, and support pedestrian comfort and safety.
 - a. The signage lighting will provide for clearly legible signs which will enhance wayfinding on the site. Additional lighting will be integrated into the landscape to accentuate walkways/safe pedestrian paths and spaces.

L. Streetscape improvements shall be as follows:

- 1.) One Street tree chosen from the street tree list consistent with the city's urban forestry guidelines and with the approval of the city's urban forester shall be places for each 30' of property frontage.
 - a. Based off the linear footage of the of the property line we are required to have 3 street trees, we have selected a tree from the approved tree list and currently provide 6 street trees to meet this requirement.
- 2.) Hardscape paving material shall be utilized to differentiate privately owned public spaces from public spaces. Hardscape for public sidewalks shall follow applicable design standards. Permitted materials for privately owned public spaces shall meet the following guidelines:
 - a. We have shown a unique concrete color pattern and scoring to differentiate the private spaces and have follow the downtown SLC hardscape paving standards on the public streets and will follow all required detailing for all hardscape areas.

Preliminary plans & renderings have been attached for your review. We look forward to your consideration and approval of this project in its current form.

We have detailed our compliance with the purpose of the D-4 zoning district as described below:

West Quarter Block C, The Gird, is designed to be the next extension of the overall West Quarter development and seamlessly integrate into the urban experience created in the D-4 Secondary Central Business District. The



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extension of Quarter Row, the new mid-block road, creates a pedestrian promenade experience lined with retail opportunities and a public park. These retail spaces wrap around the corner of the building along the 200 south frontage, creating a programmatic connection between the existing street, the new mid-block connection and the new building on Block C. The street experience is designed to provide retail, restaurant and other commercial opportunities for both the residents of the structure and others who might be in the surrounding downtown areas, including the Arena, The Salt Palace and the CBD of Salt Lake City. In addition to the numerous retail activities which will bring life to the D-4 district, a public park is included midway down the mid-block providing an additional green space for the district as well as a place for the community to gather within the new vibrant, mid-block corridor.

We have detailed our compliance with the purpose of the design standards outlined in 21A.37.060.D below:

See Attached Spreadsheet.



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D. Downtown Disticts :						
Standard	Code Section	Code Required	Proposed Design			Compliance
Ground Floor Use (%)	21A.37.050-A1	75%	Total Street Facing Façade Length	620' 0"	Complies	
Minimum Depth of Occupied Space		25' 0"	Total Retail/Residential Use Length	479' 6"		
Ground Floor Use + Visual Interest (%)	21A.37.050-A2		Total Use Percentage	77.34%		
Building Materials : Ground Floor (%)	21A.37.050-B1	No Min. Specified	Shallowest Retail/Residential Depth	29' 0"		
Building Materials : Upper Floor (%)	21A.37.050-B2	No Min. Specified	Other than Windows all Ground floor materials are <i>durable materials</i> as specified in section 21A.37.050-B1	See Elevations in A4 Series	Complies	
Glass : Ground Floor (%)	21A.37.050-C1	40%	Upper Floor Façade is Window Wall Glazing and Metal Panel as well as a Parking Garage screening system.	See Elevations in A4 Series	Complies	
Glass : Upper Floors (%)	21A.37.050-C2	No Min. Specified	Façade Has Storefront between 6" and 8'0" and will be unobstructed per section 21a.37.050-C1	49.50%	Complies	
Building Enterances (feet)	21A.37.050-D	Min. (1) operable building entrance on each street facing façade.	Upper Floor Façade is Window Wall Glazing and Metal Panel as well as a Parking Garage screening system.	See Elevations in A4 Series	Complies	
Blank Wall : Maximum Length (feet)	21A.37.050-E	No Length Specified	Each Street facing façade is provided with atleast one entrance. Additional entrances, currently not shown on the south elevation may be added along 200 south in future depenant on how the larger retail space on the ground floor is tenanted.		Complies	
Upper Floor Step Back (feet)	21A.37.050-G	No Step Back Specified	Not Applicable - no length specified		Complies	
Lighting : Exterior	21A.37.050-H	Sheilded and Directed down to prevent light trespass to other properties. Shall not Strobe, flash or flicker.	Not Applicable - no step back specified speciefc		Complies	
Lighting : Parking Lot	21A.37.050-I		Exterior lighting will comply with zoning requirments		Complies	
Screening of Mech. Equipment	21A.37.050-J		Parking structure is fully screened and not exposed to residential zones.		Complied	
Screening of Service Areas	21A.37.050-K		Mechanical Equipment is Screened with Perofrated Metal Panel on Roof	See Plans and Elevations	Complied	
Ground Floor Residential Entrances	21A.37.050-L		All Ground Floor Service Areas and located with in the structures enclosed loading zone.	See Plans	Complies	
Parking Garages or Structures	21A.37.050-M	Criteria listed Below	Not Applicable - No Ground Floor Residential	See Plans	Complies	
1. Exterior Skin		Designed to Improve visual character of public streets and spaces.	The exposed portion of the garage is to be wrapped in a poly-mesh screen with a monochromatic printed mural. This will enhance the public experience from Quarter Row, where this portion of the structure is most visible.	See Plans and Elevations	Complies	

2. Architectural Design	Express internal function.	The Poly-Mess screen which will shroud the garage is intended to express disparate programs in the building while not detracting from the overall design and enhancing the public experience via public art.	Complies
3. Internal Circulation	Internal circulation to be designed such that the surface levels are flat along the primary façade.	The primary facades of the building wrap around the garage and slope ramps, concealing them from public view. Where not wrapped by the building and screen is provided to conceal the parking structure.	Complies
4. Elevator and Stairs	Elevator and Stairs shall be highlighted Architecturally for visitor wayfinding.	Public garage / commercial lobby will be provided along Quarter Row to facilitate easy wayfinding for both retail patrons and district visitors.	Complies
5. Signage & Wayfinding	Public parking garages shall be clearly signed from public streets	Clear signage of parking garage entrance will be provided on Quarter R	Complies
6. Interior Garage Lighting	Lighting shall not produce glare toward adjacent properties	Parking structure is screened and internal lights will be directed as not to produce glare of light trespass toward adjacent properties.	Complies
7. Drive crosses public sidewalk	Drive to be different color than sidewalk	Drive is located on side access street off Quarter Row and will be a differentiated color. Sign-Impaired Warning strips will be provided before driveway.	Complies
8. Street Level Facades	Street Level Facing Facades of Parking Structures Wrapped along street frontage	Not Applicable - No Garage use located on street level.	Complies
9. Minimize Noise and Venting	Designed to minimize noise in public realm. Venting and fan locations not to be located next to public space.	Garage venting to be located above highest main roof of the building. Noise will be mitigated by the garage being wrapped by units on all primary façade conditions.	Complies



WEST QUARTER - BLOCK C
SALT LAKE CITY, UTAH



ISSUE	DATE	DESCRIPTION	INCLUDED
09/2022		SCHEMATIC DESIGN	X
11/2022		DESIGN DEVELOPMENT	X
02/2023		30% CONSTRUCTION DOCUMENTS	X

REVISION	DATE	DESCRIPTION	REV

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1 ELEVATION ALONG 200 S.
12" = 1'-0"

**ELEVATION
RENDERINGS**
DESIGN REVIEW SUBMITTAL

JOB NUMBER:
DRAWN BY: VV
CHECKED BY: TT

A4-60



5 GROCER ENTRY FEATURE AT CORNER OF 200 S. & 200 W.
6" = 1'-0"



2 PEDESRTAIN EXPERIENCE ALONG 200 S.
6" = 1'-0"



3 CORNER OF 200 S. & 200 W.
6" = 1'-0"



1 Corner of 200 S. & John Stockton Dr.
6" = 1'-0"

ISSUE	DATE	DESCRIPTION	INCLD
09/20/22		SCHEMATIC DESIGN	X
11/16/22		DESIGN DEVELOPMENT	X
02/02/23		30% CONSTRUCTION DOCUMENTS	X

REVISION	DATE	DESCRIPTION	REV

NO.	DESCRIPTION

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ELEVATION RENDERINGS

DESIGN REVIEW SUBMITTAL

JOB NUMBER:

DRAWN BY: VV CHECKED BY: TT

WEST QUARTER - BLOCK C

SALT LAKE CITY, UTAH

THE RITCHIE GROUP

DESIGN REVIEW SUBMITTAL

WEST QUARTER - BLOCK C
 SALT LAKE CITY, UTAH

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PROJECT INFORMATION

CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLYING WITH APPLICABLE CODES OR STATUS WHETHER OR NOT SPECIFICALLY REFERENCED IN THE CONSTRUCTION DOCUMENTS

- 2018 INTERNATIONAL BUILDING CODE (IBC), INCLUDING APPENDIX J, ISSUED BY THE INTERNATIONAL CODE COUNCIL (ICC) AND AMENDED BY THE STATE OF UTAH
- 2018 INTERNATIONAL PLUMBING CODE ISSUED BY THE INTERNATIONAL CODE COUNCIL (ICC) AND AMENDED BY THE STATE OF UTAH
- 2018 INTERNATIONAL MECHANICAL CODE ISSUED BY THE INTERNATIONAL CODE COUNCIL (ICC) AND AMENDED BY THE STATE OF UTAH
- 2018 INTERNATIONAL FUEL GAS CODE ISSUED BY THE INTERNATIONAL CODE COUNCIL (ICC) AND AMENDED BY THE STATE OF UTAH
- 2017 NATIONAL ELECTRICAL CODE, ISSUED BY THE NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) AND BY THE STATE OF UTAH
- 2018 INTERNATIONAL ENERGY CONSERVATION CODE (IECC) ISSUED BY THE INTERNATIONAL CODE COUNCIL (ICC) AND AMENDED BY THE STATE OF UTAH.

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PROJECT RENDERING



VICINITY MAP



ISSUE	DATE	DESCRIPTION	REVISED
09/20/2021		SCHEMATIC DESIGN	
11/18/2021		DESIGN DEVELOPMENT	
02/08/2022		30% CONSTRUCTION DOCUMENTS	X

REVISION	DATE	DESCRIPTION	REV

DATE	DESCRIPTION

DATE	DESCRIPTION

DATE	DESCRIPTION

DATE	DESCRIPTION

DATE	DESCRIPTION

DATE	DESCRIPTION

DESIGN REVIEW SUBMITTAL

JOB NUMBER:

DRAWN BY: Author
 CHECKED BY: Checker

CS-01.2

WEST QUARTER - BLOCK C
SALT LAKE CITY, UTAH



ISSUE DATE	DESCRIPTION	INCLUDED
09/20/21	SCHEMATIC DESIGN	
11/16/21	DESIGN DEVELOPMENT	
12/02/21	50% CONSTRUCTION DOCUMENTS	X

REVISION DATE	DESCRIPTION	REV

SHEET NUMBER	SHEET NAME	SD SET 2021-08-10	DD SET 2021-11-19	50% CD 2021-12-30	DESIGN REVIEW
01.0 GENERAL					
CS-01.2	COVER SHEET - DESIGN REVIEW				X
CS-02.2	SHEET INDEX - DESIGN REVIEW				X
SP-01	ARCHITECTURAL SITE PLAN	X	X	X	X
SP-10	SURROUNDING SITE CONTEXT - 200 SOUTH				X
SP-11	SURROUNDING SITE CONTEXT - 300 WEST				X
02.0 CIVIL					
C1	CIVIL	X	X	X	X
C1a	CIVIL	X	X	X	X
C4	CIVIL	X	X	X	X
C4a	CIVIL	X	X	X	X
C4b	CIVIL	X	X	X	X
C6	CIVIL	X	X	X	X
C6a	CIVIL	X	X	X	X
C6b	CIVIL	X	X	X	X
C6c	CIVIL	X	X	X	X
C6d	CIVIL	X	X	X	X
C7	CIVIL	X	X	X	X
C7a	CIVIL	X	X	X	X
C7b	CIVIL	X	X	X	X
C7c	CIVIL	X	X	X	X
C7d	CIVIL	X	X	X	X
C8a	CIVIL	X	X	X	X
C8b	CIVIL	X	X	X	X
03.0 LANDSCAPE					
PL-101	PLANTING PLAN				X
04.0 CODE DATA					
CD-00	ZONING DATA	X	X	X	X
05.0 ARCHITECTURAL					
A1-01	OVERALL PLAN - LEVEL 01	X	X	X	X
A1-01M	OVERALL PLAN - LEVEL M	X	X	X	X
A1-02	OVERALL PLAN - LEVEL 02	X	X	X	X
A1-03	OVERALL PLAN - LEVEL 03	X	X	X	X
A1-04	OVERALL PLAN - LEVEL 04	X	X	X	X
A1-05	OVERALL PLAN - LEVEL 05	X	X	X	X
A1-06	OVERALL PLAN - LEVEL 06	X	X	X	X
A1-07	OVERALL PLAN - LEVEL 07	X	X	X	X
A1-08	OVERALL PLAN - LEVEL 08	X	X	X	X
A1-09	OVERALL PLAN - LEVEL 09	X	X	X	X
A1-10	OVERALL PLAN - LEVELS 10	X	X	X	X
A1-11	OVERALL PLAN - LEVEL 11	X	X	X	X
A1-12	OVERALL PLAN - LEVEL 12	X	X	X	X
A1-13	OVERALL PLAN - LEVEL 13	X	X	X	X
A1-14	OVERALL PLAN - LEVEL 14	X	X	X	X
A1-15	OVERALL PLAN - LEVEL 15	X	X	X	X
A1-16	OVERALL PLAN - LEVEL 16	X	X	X	X
A1-20	OVERALL PLAN - ROOF	X	X	X	X
A4-00	NORTH & SOUTH ELEVATIONS	X	X	X	X
A4-01	EAST & WEST ELEVATIONS	X	X	X	X
A4-60	ELEVATION RENDERINGS	X	X	X	X
A4-61	ELEVATION RENDERINGS	X	X	X	X
A4-62	ELEVATION RENDERINGS	X	X	X	X
A5-01	NORTH - SOUTH BUILDING SECTIONS	X	X	X	X
A5-01A	NORTH - SOUTH BUILDING SECTIONS	X	X	X	X

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**SHEET INDEX -
DESIGN
REVIEW**
DESIGN REVIEW SUBMITTAL

JOB NUMBER:
DRAWN BY: Author
CHECKED BY: Checker

CS-02.2

WEST QUARTER - BLOCK C
SALT LAKE CITY, UTAH



ISSUE	DATE	DESCRIPTION	INCLUDED
09/20/22		SCHEMATIC DESIGN	
11/16/22		DESIGN DEVELOPMENT	
1/20/23		CONSTRUCTION DOCUMENTS	X

REVISION	DATE	DESCRIPTION	REV

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**SURROUNDING
SITE CONTEXT
- 200 SOUTH**

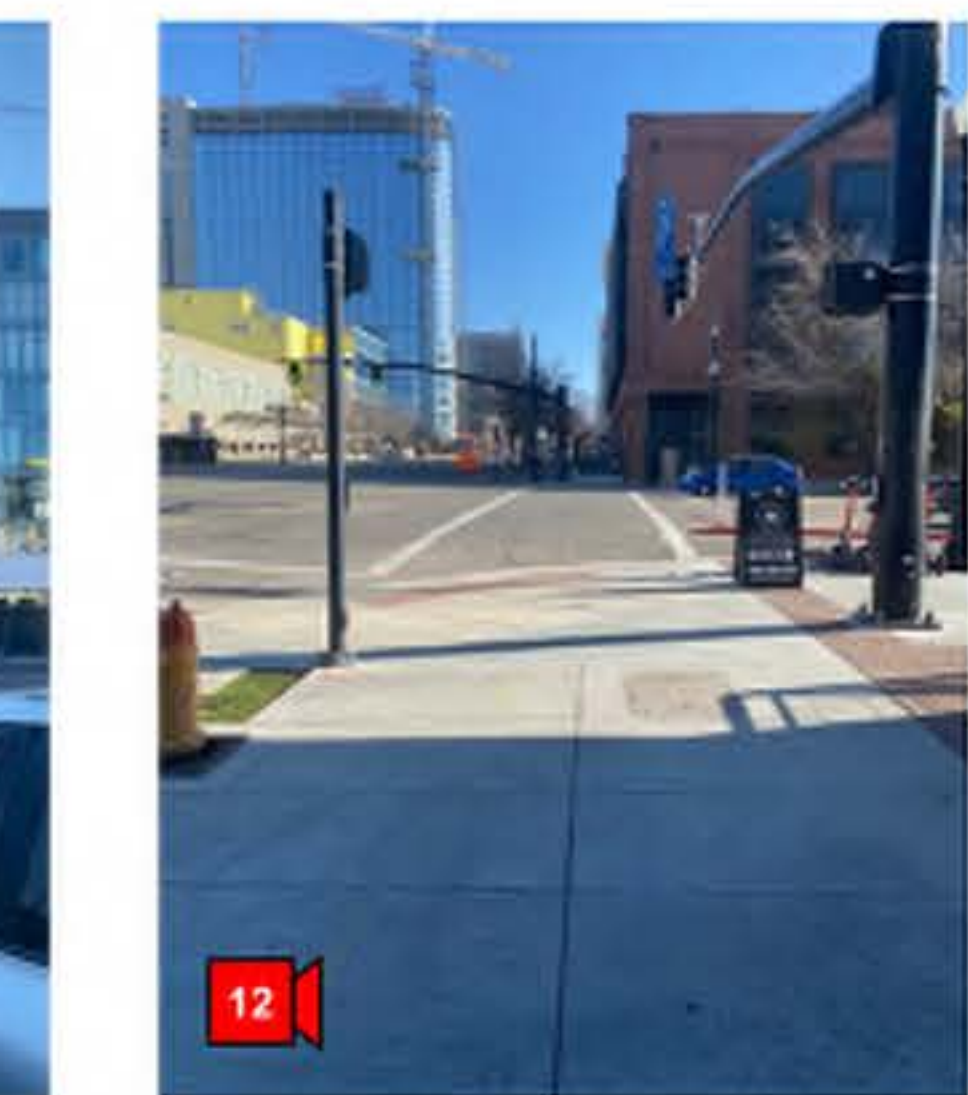
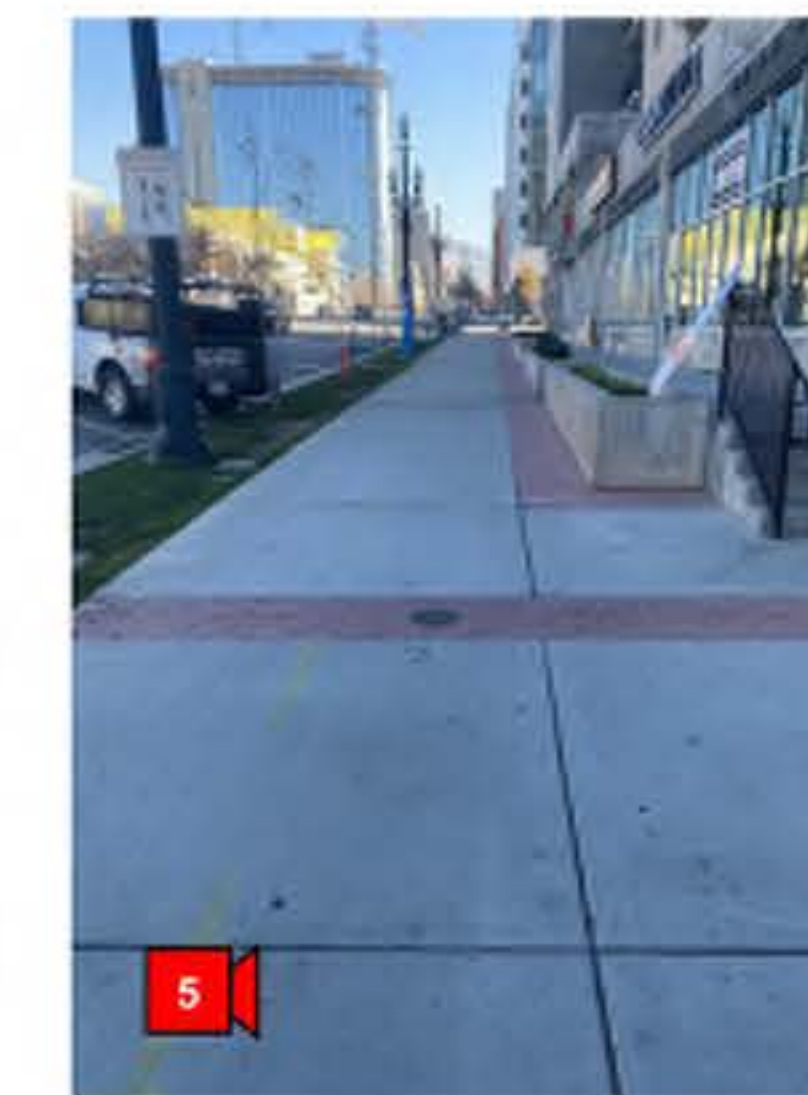
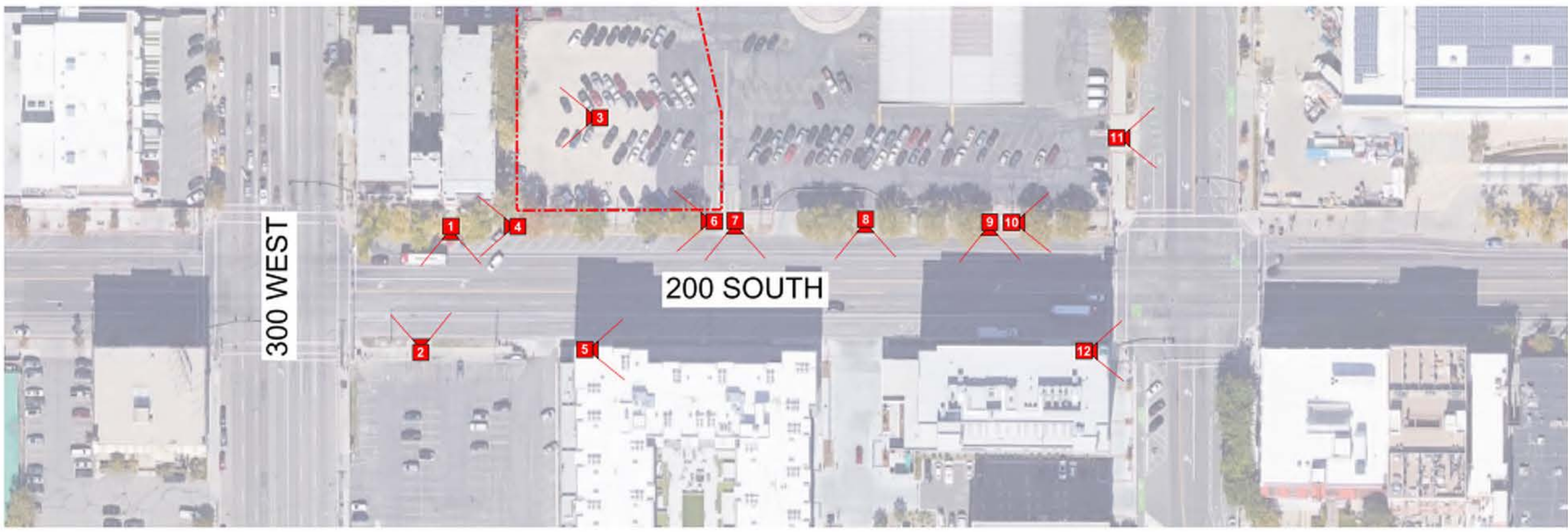
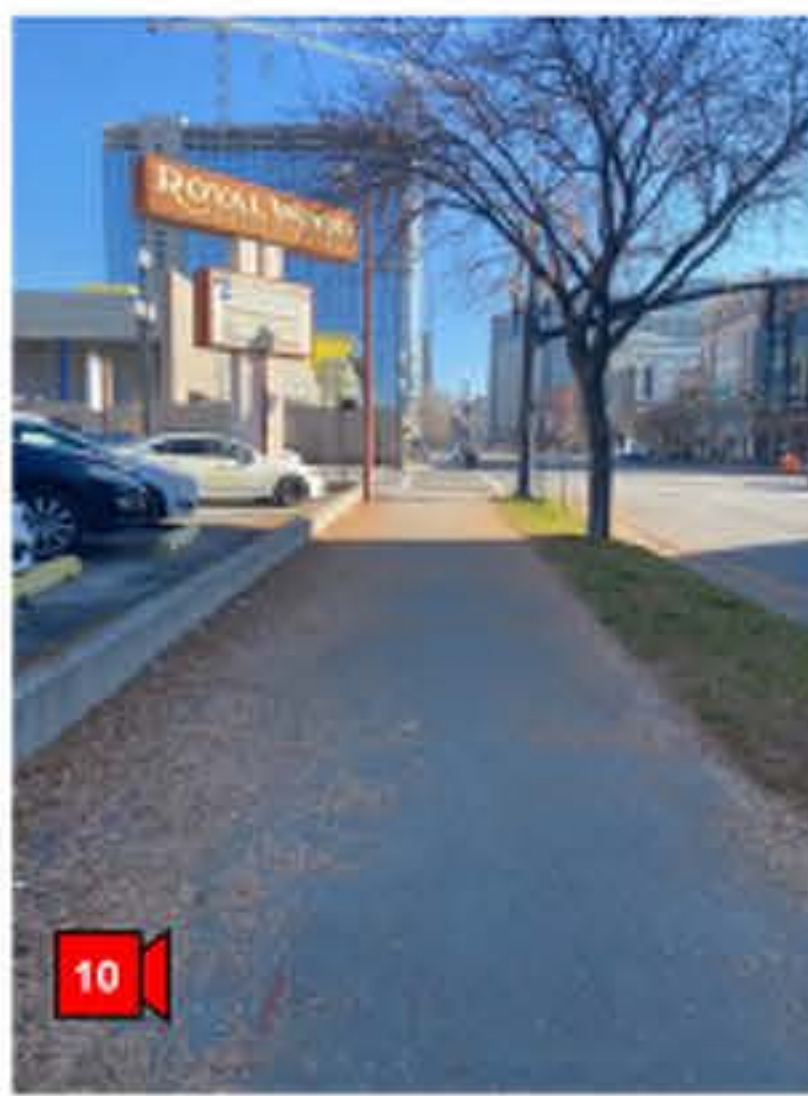
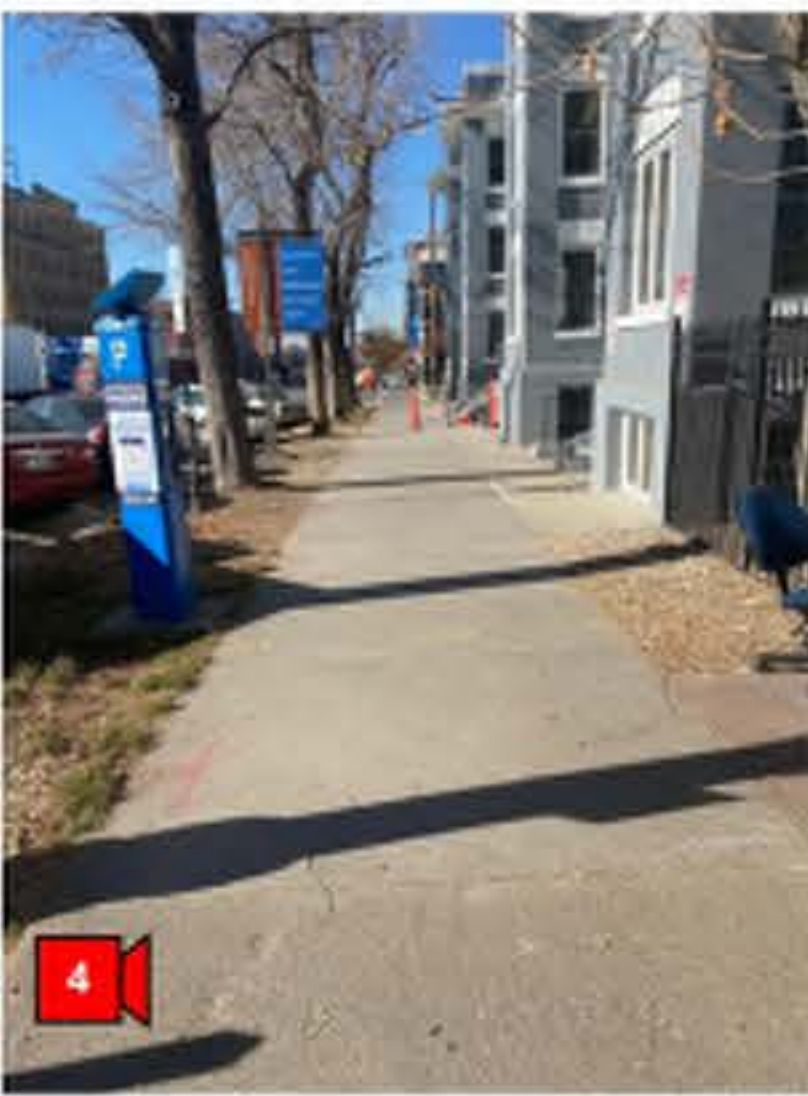
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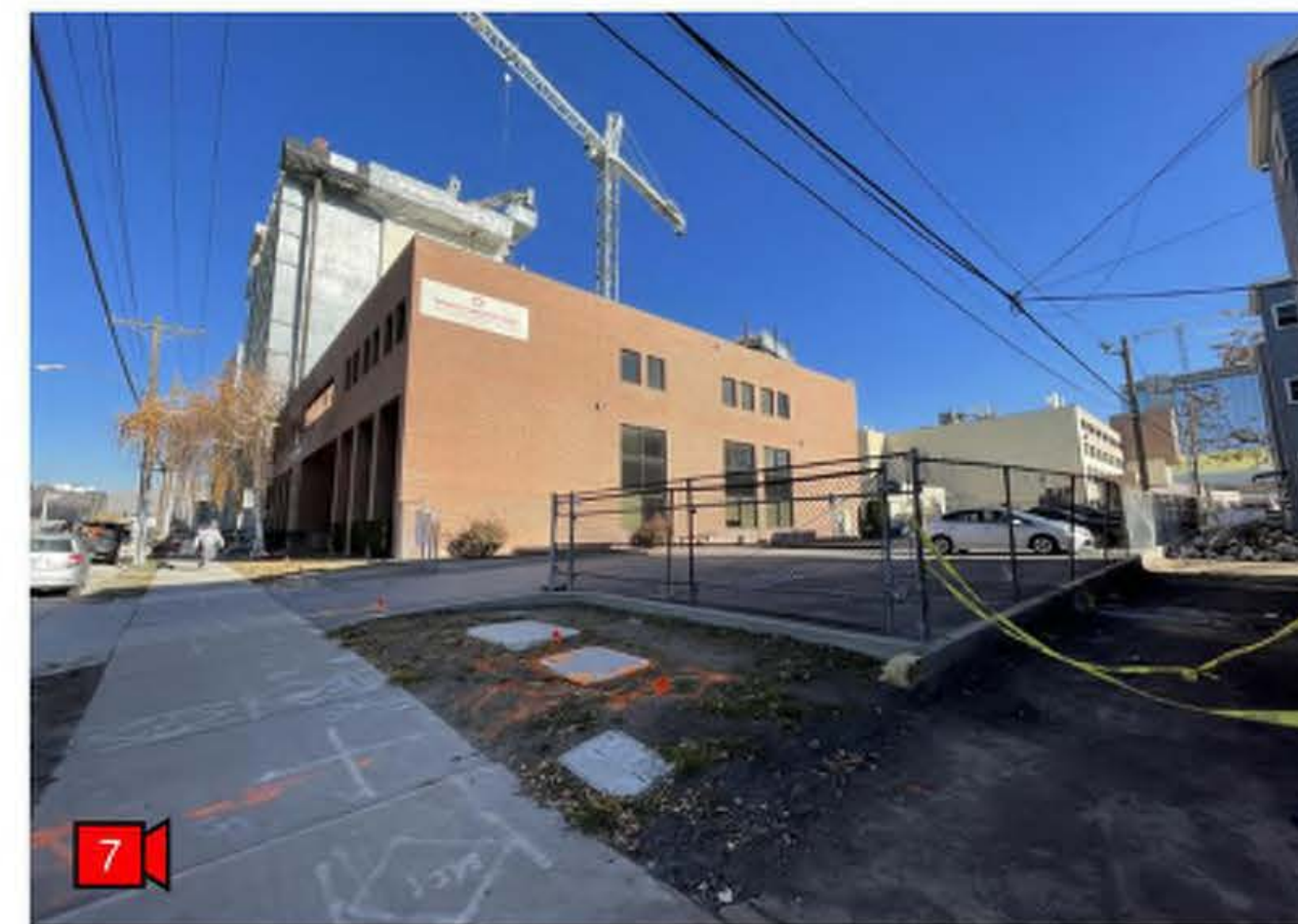
JOB NUMBER:

DRAWN BY: Author
CHECKED BY: Checker

SP-10

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WEST QUARTER - BLOCK C
SALT LAKE CITY, UTAH



ISSUE	DATE	DESCRIPTION	ISSUED
08/10/2021		SCHEMATIC DESIGN	
11/18/2021		DESIGN DEVELOPMENT	
03/02/2022		50% CONSTRUCTION DOCUMENTS	X

REVISION	DATE	DESCRIPTION	REV

SCALE:

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SHEET NAME:

**SURROUNDING
SITE CONTEXT
- 300 WEST**

DESIGN REVIEW SUBMITTAL

JOB NUMBER:

DRAWN BY: Author
CHECKED BY: Checker

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THE RITCHE GROUP / BLOCK 67 PHASE 2

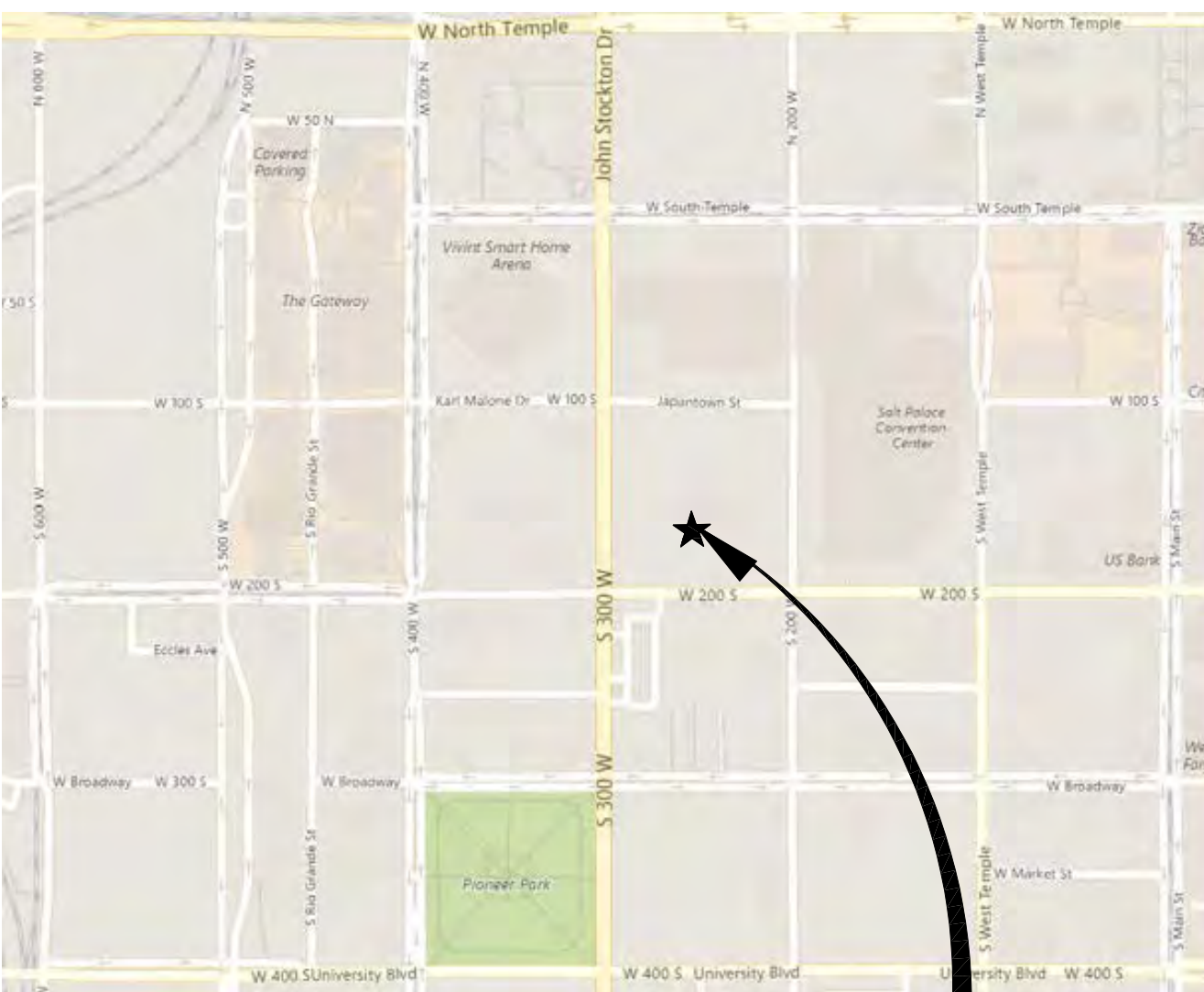
260 WEST 200 SOUTH, SALT LAKE CITY, UTAH



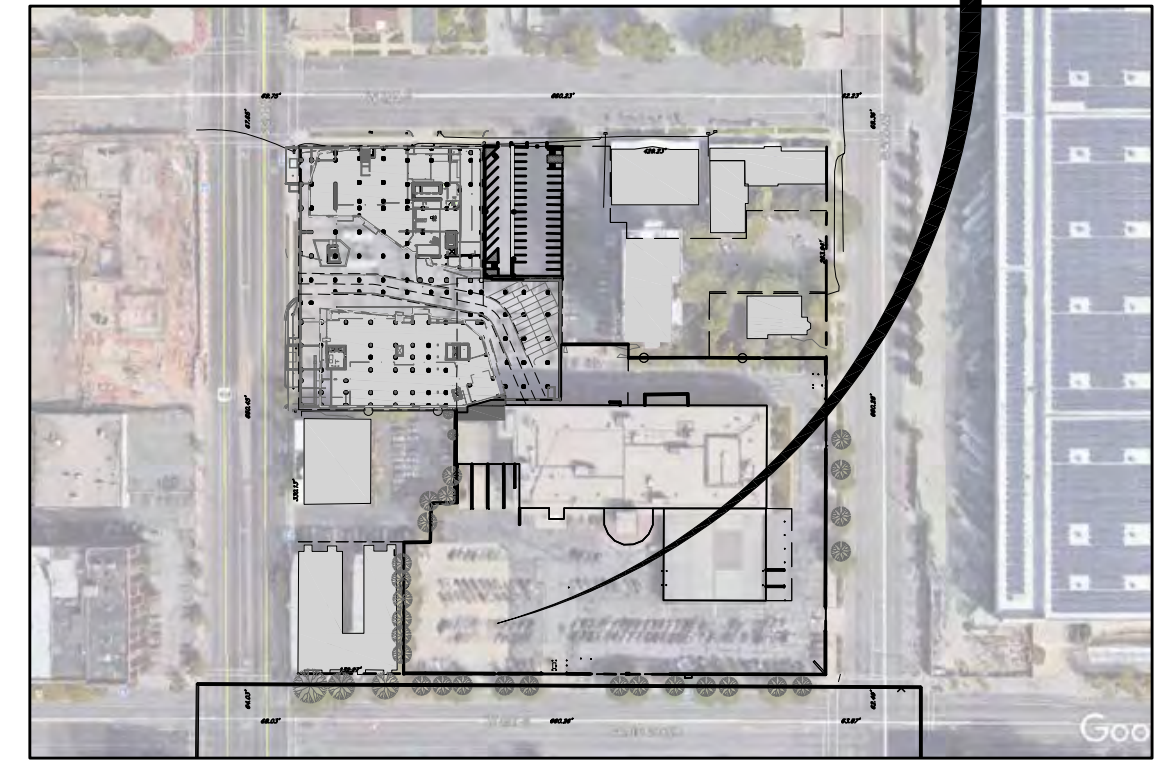
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SHEET DIRECTORY	
NO	TITLE
C0	COVER SHEET
C1	BLOCK CD - EXISTING CONDITIONS
C1a	BLOCK C - SITE PREPARATION PLAN
C4	PHASE 2 BLOCK C SITE PLAN
C4a	PHASE 2 BLOCK CD SITE PLAN
C4b	PHASE 2 BLOCK C PHASED TEMPORARY PARKING
C6	PHASE 2 BLOCK C GRADING PLAN
C6a	PHASE 2 BLOCK C GRADING PLAN A
C6b	PHASE 2 BLOCK C GRADING PLAN B
C6c	PHASE 2 UNDERGROUND STORM DRAIN FACILITIES
C6d	PHASE 2 - STORM WATER DETAILS
C7	PHASE 2 BLOCK C - UTILITY PLAN
C7a	PHASE 2 BLOCK C - UTILITY PLAN QUARTER ROW A
C7b	PHASE 2 BLOCK C - UTILITY PLAN QUARTER ROW B
C7c	PHASE 2 BLOCK C - UTILITY SECTIONS
C7d	PHASE 2 BLOCK C - UTILITY PLAN 200 SOUTH
C8a	PHASE 2 BLOCK C- DETAILS
C8b	PHASE 2 BLOCK C- DETAILS

Vicinity Maps



PROJECT SITE



1. STANDARD NOTES
 1. ALL CONSTRUCTION SHALL CONFORM TO CITY STANDARDS AND TO APPLICABLE UTILITY DISTRICT STANDARDS.
 2. THE EXISTENCE AND LOCATION OF ANY OVERHEAD OR UNDERGROUND UTILITY LINES, PIPES, OR STRUCTURES SHOWN ON THESE PLANS ARE OBTAINED BY A RESEARCH OF THE AVAILABLE RECORDS. EXISTING UTILITIES ARE LOCATED ON PLANS ONLY FOR THE CONVENIENCE OF THE CONTRACTOR. EXISTING UTILITY SERVICE LATERALS MAY NOT BE SHOWN ON THE PLANS. THE CONTRACTOR SHALL, AT HIS OWN EXPENSE, LOCATE ALL UNDERGROUND AND OVERHEAD INTERFERENCES, WHICH MAY AFFECT HIS OPERATION DURING CONSTRUCTION AND SHALL TAKE ALL NECESSARY PRECAUTIONS TO AVOID DAMAGE TO SAME. THE CONTRACTOR SHALL USE EXTREME CAUTION WHEN WORKING NEAR OVERHEAD UTILITIES SO AS TO SAFELY PROTECT ALL PERSONNEL AND EQUIPMENT, AND SHALL BE RESPONSIBLE FOR ALL COST AND LIABILITY IN CONNECTION THEREWITH.
 3. THE CONTRACTOR SHALL TAKE ALL PRECAUTIONARY MEASURES NECESSARY TO PROTECT EXISTING UTILITY LINES, STRUCTURES AND STREET IMPROVEMENTS WHICH ARE TO REMAIN IN PLACE, FROM DAMAGE, AND ALL SUCH IMPROVEMENTS OR STRUCTURES DAMAGED BY THE CONTRACTOR'S OPERATIONS SHALL BE REPAIRED OR REPLACED SATISFACTORY TO THE CITY ENGINEER AND OWNING UTILITY COMPANY AT THE EXPENSE OF THE CONTRACTOR.
 4. ALL CONSTRUCTION SHALL BE AS SHOWN ON THESE PLANS, ANY REVISIONS SHALL HAVE THE PRIOR WRITTEN APPROVAL OF THE CITY ENGINEER.
 5. CONTRACTORS ARE RESPONSIBLE FOR ALL OSHA REQUIREMENTS ON THE PROJECT SITE.
 6. PERMITS ARE REQUIRED FOR ANY WORK IN THE PUBLIC RIGHT-OF-WAY. THE CONTRACTOR SHALL SECURE ALL PERMITS AND INSPECTIONS REQUIRED FOR THIS CONSTRUCTION.
 7. ALL CITY MAINTAINED UTILITIES INCLUDING: WATERLINE, FIRE HYDRANTS, STREETLIGHT WIRING, AND STORM DRAIN MUST BE IN PUBLIC RIGHT OF WAY OR RECORDED IN EASEMENTS.
 8. CONTRACTOR TO FOLLOW SALT LAKE CITY NOISE ORDINANCE STANDARDS.
 9. CURB, CUTTER, AND SIDEWALK, FOUND TO BE UNACCEPTABLE TO THE CITY SHALL BE REMOVED AND REPLACED.
 10. THE CONTRACTOR SHALL TAKE REASONABLE MEASURES TO PROTECT EXISTING IMPROVEMENTS FROM DAMAGE AND ALL SUCH IMPROVEMENTS DAMAGED BY THE CONTRACTORS OPERATION SHALL BE REPAIRED OR RECONSTRUCTED TO THE ENGINEER'S SATISFACTION AT THE EXPENSE OF THE CONTRACTOR.
 11. CONTRACTOR SHALL PROVIDE ALL NECESSARY HORIZONTAL AND VERTICAL TRANSITIONS BETWEEN NEW CONSTRUCTION AND EXISTING SURFACES TO PROVIDE FOR PROPER DRAINAGE AND FOR INGRESS AND EGRESS TO NEW CONSTRUCTION. THE EXTENT OF TRANSITIONS TO BE AS SHOWN ON PLANS.
 12. ALL GRADING WORK SHALL CONFORM TO THE SOILS REPORT AS PREPARED BY THE SOILS ENGINEER AND APPROVED BY THE CITY ENGINEER, AND AS SHOWN ON THESE PLANS.
 13. EXACT LOCATION OF ALL SAWCUT LINES MAY BE ADJUSTED OR DETERMINED IN THE FIELD BY A CITY ENGINEER IF LOCATION ON PLANS IS NOT CLEARLY SHOWN, OR EXISTING PAVEMENT CONDITION REQUIRES RELOCATION.
 14. THE CONTRACTOR SHALL TAKE ALL PRECAUTIONS NECESSARY TO PROTECT EXISTING PERMANENT SURVEYING MONUMENTS. ANY MONUMENTS DISTURBED SHALL BE REPLACED AND ADJUSTED PER AVAILABLE RECORDS AT THE SALT LAKE COUNTY SURVEYORS OFFICE.
 15. UTILITY COMPANY METER BOXES, MANHOLES, LIDS, VALVE COVERS, ETC. SHALL BE LOCATED OUT OF DRIVEWAYS, DRIVEWAY APRONS, FLOWLINES, AND CROSS CUTTERS UNLESS WRITTEN APPROVAL IS GRANTED BY THE UTILITY COMPANY AND THE CITY ENGINEER.
 16. ALL WALLS, NEW OR EXISTING, ARE NOT SHOWN ON CIVIL PLANS FOR THE PURPOSE OF REVEALING GRADING RELATIONSHIPS; FLOOD CONTROL, AND SIGHT DISTANCE AT INTERSECTIONS. ALL WALLS SHALL HAVE A MINIMUM 2 FT X 2 FT X 30 INCH DEEP SPOT FOOTINGS. BOTTOM OF ALL FOOTINGS ON ALL WALLS SHALL BE A MINIMUM OF 30 INCHES BELOW FINISHED GRADE. WALLS GREATER THAN 6 FEET REQUIRE A SEPARATE PERMIT AND INSPECTION BY THE BUILDING DEPARTMENT.
 17. ASPHALT MIX DESIGN MUST BE SUBMITTED AND APPROVED BY THE CITY ENGINEER PRIOR TO THE PLACEMENT OF ASPHALT WITHIN CITY RIGHT OF WAY.
 18. CONTRACTOR SHALL ADJUST ALL NEW AND EXISTING INLETS, VALVE BOXES, MANHOLE RIMS, AND SEWER CLEAN OUTS, ETC. TO FINISH GRADE AS APPLICABLE WHETHER OR NOT THEY ARE SHOWN ON THE PLANS.
 19. APPLICATION FOR INSPECTION BY THE CITY ENGINEERING DEPT. SHALL BE MADE BY THE CONTRACTOR AT LEAST 48 HOURS BEFORE THE INSPECTION SERVICES WILL BE REQUIRED.
 20. WORK IN PUBLIC STREETS, ONCE BEGUN, SHALL BE PROSECUTED TO COMPLETION WITHOUT DELAY AND PROVIDE MINIMUM INCONVENIENCE TO ADJACENT PROPERTY OWNERS AND TO THE TRAVELING PUBLIC.
 21. THE CONTRACTOR SHALL TAKE ALL NECESSARY AND PROPER PRECAUTIONS TO PROTECT ADJACENT PROPERTIES FROM ANY AND ALL DAMAGE THAT MAY OCCUR FROM STORM WATER RUNOFF AND/OR DEPOSITION OF DEBRIS RESULTING FROM ANY AND ALL WORK IN CONNECTION WITH CONSTRUCTION.
 22. CONTRACTOR TO CONTACT BLUE STAKES FOR MARKING OF EXISTING UTILITIES PRIOR TO PERFORMING ANY EXCAVATION.
 23. AFFECTED UTILITY COMPANIES SHALL BE NOTIFIED AT LEAST TWO (2) WORKING DAYS PRIOR TO COMMENCEMENT OF CONSTRUCTION.
 24. EXISTING UTILITIES ARE LOCATED ON PLANS FOR THE CONVENIENCE OF THE CONTRACTORS ONLY. THE CONTRACTOR SHALL BEAR FULL RESPONSIBILITY FOR THE PROTECTION OF UTILITIES AND THE ENGINEER BEARS NO RESPONSIBILITY FOR UTILITIES NOT SHOWN ON THE PLANS OR NOT IN THE LOCATION SHOWN ON THE PLANS. THIS INCLUDES ALL SERVICE LATERALS OF ANY KIND.
 25. POWER POLES AND/OR OTHER EXISTING FACILITIES NOT IN PROPER LOCATION BASED ON PROPOSED IMPROVEMENTS SHOWN HEREON WILL BE RELOCATED AT NO EXPENSE TO THE CITY. POWER POLES ARE TO BE RELOCATED AND BURIED.
 26. MODIFICATIONS TO EXISTING UTILITIES SHALL CONFORM TO THE OWNER'S UTILITY STANDARDS AND SPECIFICATIONS.
 27. PROTECTION AND REPLACEMENT OF SURVEY MONUMENTS OR PROPERTY STAKES NOT DELINEATED ON THE CONTRACT DRAWINGS SHALL BE THE CONTRACTOR'S RESPONSIBILITY. ADDITIONAL SURVEY MONUMENTS OR PROPERTY STAKES SHALL BE DONE TO SALT LAKE COUNTY STANDARDS.
 28. ALL STATIONING IS REFERENCED TO CENTERLINE

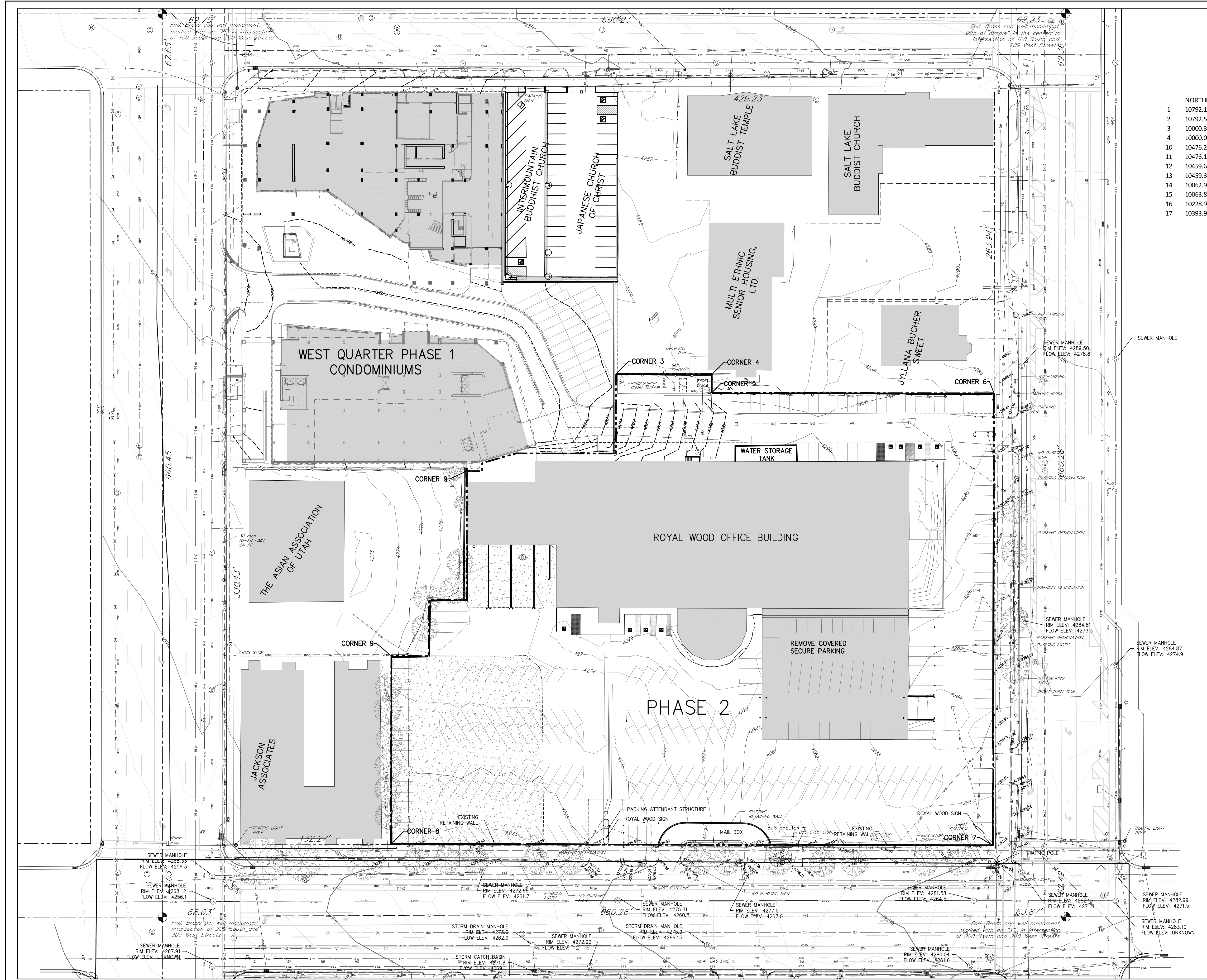
SALT LAKE CITY NOTES:
 1. ALL WORK IN THE PUBLIC WAY SHALL CONFORM TO APWA 2012 STANDARD PLANS AND SPECIFICATIONS.
 2- THE CURB AND CUTTER SHALL BE CONSTRUCTED AS PER APWA 205A, AND 251 OR 252.
 3- ALL UTILITY TRENCH WORK IN THE PUBLIC WAY SHALL BE CONSTRUCTED AS PER APWA 255.
 4- ALL SIDEWALK WORK DONE IN THE PUBLIC WAY SHALL BE CONSTRUCTED AS PER APWA 231.
 5- THE DRIVE APPROACH SHALL BE CONSTRUCTED AS PER APWA 225.
 6- PRIOR TO OCCUPANCY PERMIT BEING ISSUED, ALL TRIP HAZARDS ON THE PUBLIC SIDEWALK MUST BE REMOVED.
 7- PRIOR TO BEGINNING ANY WORK IN THE PUBLIC WAY, A LICENSED, BONDED AND INSURED CONTRACTOR MUST FIRST OBTAIN A PUBLIC WAY PERMIT FROM THE SLC ENGINEERING PERMITS OFFICE, AND MAY ALSO NEED A TRAFFIC CONTROL PERMIT FROM SLC TRANSPORTATION.
 8. THE CONTRACTOR IS RESPONSIBLE FOR ALL ASPECTS OF SAFETY OF THE PROJECT AND SHALL MEET ALL OSHA, STATE, COUNTY AND OTHER GOVERNING ENTITY REQUIREMENTS.
 9. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR CONFORMING TO LOCAL AND FEDERAL CODES GOVERNING SHORING AND BRACING OF EXCAVATIONS AND TRENCHES, AND FOR THE PROTECTION OF WORKERS.
 10. SAFETY
 11. DUST CONTROL
 12. DEWATERING
 13. PROJECT LIMITS
 14. WATER, FIRE, SANITARY SEWER AND STORM DRAINAGE UTILITIES
 15. INSPECTIONS
 16. DAMAGE TO EXISTING UTILITIES
 17. UTILITY LOCATIONS
 18. UTILITY RELOCATIONS
 19. FIELD CHANGES
 20. TRAFFIC CONTROL AND HAUL ROUTES
 21. SURVEY CONTROL
 22. ASPHALT GUARANTEE
 23. TEMPORARY ASPHALT

14. GRADING NOTES
 1. IN THE EVENT THAT ANY UNFORSEEN CONDITIONS NOT COVERED BY THESE NOTES ARE ENCOUNTERED DURING GRADING OPERATIONS, THE OWNER AND CITY ENGINEER SHALL BE IMMEDIATELY NOTIFIED FOR DIRECTION.
 2. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PERFORM ALL NECESSARY CUTS AND FILLS WITHIN THE LIMITS OF THIS PROJECT AND THE RELATED OFF-SITE WORK, SO AS TO GENERATE THE DESIRED SUBGRADE, FINISH GRADES AND SLOPES SHOWN.
 3. CONTRACTOR SHALL TAKE FULL RESPONSIBILITY FOR ALL EXCAVATION. ADEQUATE SHORING SHALL BE DESIGNED AND PROVIDED BY THE CONTRACTOR TO PREVENT UNDERMINING OF ANY ADJACENT FEATURES OR FACILITIES AND/OR CAVING OF THE EXCAVATION.
 4. THE CONTRACTOR IS WARNED THAT AN EARTHWORK BALANCE WAS NOT NECESSARILY THE INTENT OF THIS PROJECT. ANY ADDITIONAL MATERIAL REQUIRED OR LEFTOVER MATERIAL FOLLOWING EARTHWORK OPERATIONS BECOMES THE RESPONSIBILITY OF THE CONTRACTOR.
 5. THE GRADING CONTRACTOR IS RESPONSIBLE TO COORDINATE WITH THE OWNER TO PROVIDE FOR THE REQUIREMENTS OF THE PROJECT STORM WATER POLLUTION PREVENTION PLAN (SWPPP) AND ASSOCIATED PERMIT.
 6. CONTRACTOR SHALL GRADE TO THE LINES AND ELEVATIONS SHOWN ON PLANS.
 7. ALL CUT AND FILL SLOPES SHALL BE PROTECTED UNTIL EFFECTIVE EROSION CONTROL HAS BEEN ESTABLISHED.
 8. THE USE OF POTABLE WATER WITHOUT A SPECIAL PERMIT FOR BUILDING OR CONSTRUCTION PURPOSES INCLUDING CONSOLIDATION OF BACKFILL OR DUST CONTROL IS PROHIBITED. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS FOR CONSTRUCTION WATER FROM THE CITY WATER DEPARTMENT.
 9. THE CONTRACTOR SHALL MAINTAIN THE STREETS, SIDEWALKS AND ALL OTHER PUBLIC RIGHT-OF-WAY IN A CLEAN, SAFE AND USABLE CONDITION. ALL SPILLS OF SOIL, ROCK OR CONSTRUCTION DEBRIS SHALL BE PROMPTLY REMOVED FROM THE PUBLICLY OWNED PROPERTY DURING CONSTRUCTION AND UPON COMPLETION OF THE PROJECT. ALL ADJACENT PROPERTY, PRIVATE OR PUBLIC SHALL BE MAINTAINED IN A CLEAN, SAFE AND USABLE CONDITION.
 10. IN THE EVENT THAT ANY TEMPORARY CONSTRUCTION ITEMS ARE REQUIRED THAT ARE NOT SHOWN ON THESE DRAWINGS, THE CONTRACTOR SHALL INSTALL SUCH ITEM AT HIS OWN EXPENSE AND AT THE DIRECTION OF THE CITY ENGINEER. TEMPORARY CONSTRUCTION INCLUDES DITCHES, BERMS, ROAD SIGNS AND BARRICADES, ETC.

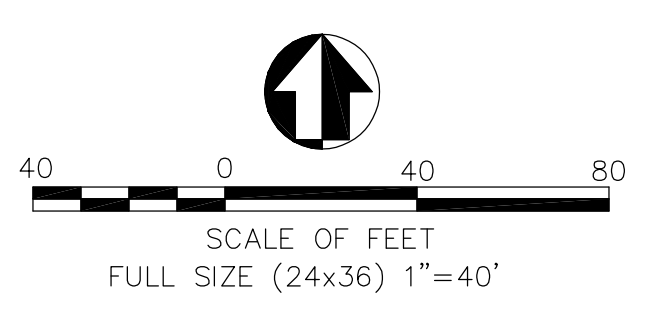
SEWER DISTRICT NOTES
 1. ALL CONSTRUCTION SHALL COMPLY WITH SEWER DISTRICT'S DESIGN STANDARDS AND CONSTRUCTION SPECIFICATIONS.
 2. CONTRACTOR SHALL FIELD VERIFY LOCATIONS AND INVERT ELEVATIONS OF EXISTING MANHOLES AND OTHER UTILITIES BEFORE STAKING OR CONSTRUCTING ANY NEW SEWER LINES.
 3. FOUR FEET OF COVER (MINIMUM) IS REQUIRED OVER ALL SEWER LINES.

14. WATER, FIRE, SANITARY SEWER AND STORM DRAINAGE UTILITIES
 A. INSPECTIONS - IT IS THE CONTRACTOR'S RESPONSIBILITY TO SCHEDULE ANY WATER, SEWER, BACKFLOW AND DRAINAGE INSPECTION 48-HOURS IN ADVANCE TO WHEN NEEDED. CONTACT 483-6727 TO SCHEDULE INSPECTIONS.
 B. DAMAGE TO EXISTING UTILITIES - THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE, CAUSED BY ANY CONDITION INCLUDING SETTLEMENT, TO EXISTING UTILITIES FROM WORK PERFORMED AT OR NEAR EXISTING UTILITIES. THE CONTRACTOR SHALL TAKE ALL MEASURES NECESSARY TO PROTECT ALL EXISTING PUBLIC AND PRIVATE ROADWAY AND UTILITY FACILITIES. DAMAGE TO EXISTING FACILITIES CAUSED BY THE CONTRACTOR, MUST BE REPAIRED BY THE CONTRACTOR AT HIS/HER EXPENSE, TO THE SATISFACTION OF THE OWNER OF SAID FACILITIES.
 C. UTILITY LOCATIONS - CONTRACTOR WILL BE RESPONSIBLE FOR LOCATING AND AVOIDING ALL UTILITIES AND SERVICE LATERALS, AND FOR REPAIRING ALL DAMAGE THAT OCCURS TO THE UTILITIES DUE TO THE CONTRACTOR'S ACTIVITIES. CONTRACTOR IS TO VERIFY LOCATION, DEPTH, SIZE, MATERIAL AND OUTSIDE DIAMETERS OF UTILITIES IN THE FIELD BY POTHOLES A MINIMUM OF 300-FOOT AHEAD OF SCHEDULED CONSTRUCTION IN ORDER TO IDENTIFY POTENTIAL CONFLICTS AND PROBLEMS WITH FUTURE CONSTRUCTION ACTIVITIES. EXISTING UTILITY INFORMATION OBTAINED FROM PUBLIC UTILITIES MAPS MUST BE ASSUMED AS APPROXIMATE AND REQUIRING FIELD VERIFICATION. CONTACT BLUE STAKES OR APPROPRIATE OWNER FOR COMMUNICATION LINE LOCATIONS.
 D. UTILITY RELOCATIONS - FOR UTILITY CONFLICTS REQUIRING MAINLINE RELOCATIONS, THE CONTRACTOR MUST NOTIFY THE APPLICABLE UTILITY COMPANY OR USER A MINIMUM OF TWO WEEKS IN ADVANCE. A ONE-WEEK MINIMUM NOTIFICATION IS REQUIRED FOR CONFLICTS REQUIRING THE RELOCATION OF SERVICE LATERALS. ALL RELOCATIONS ARE SUBJECT TO APPROVAL FROM THE APPLICABLE UTILITY COMPANY AND/OR USER.
 E. FIELD CHANGES - NO ROADWAY, UTILITY ALIGNMENT OR GRADE CHANGES ARE ALLOWED FROM THE APPROVED CONSTRUCTION PLANS/DOCUMENTS WITHOUT WRITTEN APPROVAL FROM THE SLC PUBLIC UTILITIES DIRECTOR. CHANGES TO HYDRANT LOCATIONS AND/OR FIRE LINES MUST BE REVIEWED AND APPROVED BY THE SALT LAKE CITY OR SALT LAKE COUNTY FIRE DEPARTMENT (AS APPLICABLE TO THE PROJECT) AND PUBLIC UTILITIES.
 F. PUBLIC NOTICE TO PROJECTS IN THE PUBLIC WAY - FOR APPROVED PROJECTS THE CONTRACTOR IS RESPONSIBLE TO PROVIDE AND DISTRIBUTE WRITTEN NOTICE TO ALL RESIDENTS LOCATED WITHIN THE PROJECT AREA AT LEAST 72-HOURS PRIOR TO CONSTRUCTION. WORK TO BE CONDUCTED WITHIN COMMERCIAL OR INDUSTRIAL AREAS MAY REQUIRE A LONGER NOTIFICATION PERIOD AND ADDITIONAL CONTRACTOR COORDINATION WITH PROPERTY OWNERS. THE WRITTEN NOTICE IS TO BE APPROVED BY THE SLC PUBLIC UTILITIES PROJECT ENGINEER.
 G. PUBLIC NOTICE FOR WATER MAIN SHUT DOWNS - THROUGH THE SLC PUBLIC UTILITIES INSPECTOR AND WITH THE PUBLIC UTILITIES PROJECT ENGINEER APPROVAL, SLC PUBLIC UTILITIES MUST BE CONTACTED AND APPROVED FOR WATER MAIN SHUTDOWNS. ONCE APPROVED THE CONTRACTOR MUST NOTIFY ALL AFFECTED USERS BY WRITTEN NOTICE A MINIMUM OF 48-HOURS (RESIDENTIAL) AND 72-HOURS (COMMERCIAL/INDUSTRIAL) PRIOR TO THE WATER MAIN SHUT DOWN. PUBLIC UTILITIES MAY REQUIRE LONGER NOTICE PERIODS.
 H. WATER AND SEWER SEPARATION - IN ACCORDANCE WITH UTAH'S DEPARTMENT OF HEALTH REGULATIONS, A MINIMUM TEN-FOOT HORIZONTAL AND 1.5-FOOT VERTICAL (WITH WATER ON TOP) SEPARATION IS REQUIRED. IF THESE CONDITIONS CANNOT BE MET, STATE AND SLC PUBLIC UTILITIES APPROVAL IS REQUIRED. ADDITIONAL CONSTRUCTION MEASURES WILL BE REQUIRED FOR THESE CONDITIONS.
 I. SALVAGE - ALL METERS MUST BE RETURNED TO PUBLIC UTILITIES, AND AT PUBLIC UTILITIES REQUEST ALL SALVAGED PIPE AND/OR FITTINGS MUST BE RETURNED TO SLC PUBLIC UTILITIES (483-6727) LOCATED AT 1530 SOUTH WEST TEMPLE.
 J. SEWER MAIN AND LATERAL CONSTRUCTION REQUIREMENTS - SLC PUBLIC UTILITIES MUST APPROVE ALL SEWER CONNECTIONS. ALL SEWER LATERALS 6-INCHES AND SMALLER MUST WYE INTO THE MAINS PER SLC PUBLIC UTILITIES REQUIREMENTS. ALL 8-INCH AND LARGER SEWER CONNECTIONS MUST BE PETITIONED FOR AT PUBLIC UTILITIES (483-6727) AND CONNECTED AT A MANHOLE. INSIDE DROPS IN MANHOLES ARE NOT ALLOWED. A MINIMUM 4-FOOT BURY DEPTH IS REQUIRED ON ALL SEWER MAINS AND LATERALS. CONTRACTOR SHALL INSTALL INVERT COVERS IN ALL SEWER MANHOLES WITHIN THE PROJECT AREA.
 CONTRACTOR TO PROVIDE AIR PRESSURE TESTING OF SEWER MAINS IN ACCORDANCE WITH PIPE MANUFACTURERS RECOMMENDATIONS AND SALT LAKE CITY PUBLIC UTILITIES REQUIREMENTS. ALL PVC SEWER MAIN AND LATERAL TESTING SHALL BE IN ACCORDANCE WITH UNIFORM LUN-8-19-B RECOMMENDED PRACTICE FOR LOW PRESSURE AIR TESTING OF INSTALLED SEWER PIPE. CONTRACTOR SHALL PROVIDE SEWER LATERAL WATER TESTING AS REQUIRED BY THE SALT LAKE CITY PUBLIC UTILITIES PROJECT ENGINEER OR INSPECTOR. A MINIMUM OF 9-FEET OF HEAD PRESSURE IS REQUIRED AS MEASURED VERTICALLY FROM THE HIGH POINT OF THE PIPELINE AND AT OTHER LOCATIONS ALONG THE PIPELINE AS DETERMINED BY THE SLC PUBLIC UTILITIES PROJECT ENGINEER OR INSPECTOR. TESTING TIME WILL BE NO LESS THAN AS SPECIFIED FOR THE AIR TEST DURATION IN TABLE I ON PAGE 12 OF LUN-8-19-B. ALL PIPES SUBJECT TO WATER TESTING SHALL BE FULLY VISIBLE TO THE INSPECTOR DURING TESTING. TESTING MUST BE PERFORMED IN THE PRESENCE OF A SLC PUBLIC UTILITIES REPRESENTATIVE. ALL VISIBLE LEAKAGE MUST BE REPAIRED TO THE SATISFACTION OF THE SLC PUBLIC UTILITIES ENGINEER OR INSPECTOR.
 K. WATER AND FIRE MAIN AND SERVICE CONSTRUCTION REQUIREMENTS - SLC PUBLIC UTILITIES MUST APPROVE ALL FIRE AND WATER SERVICE CONNECTIONS. A MINIMUM 3-FOOT SEPARATION IS REQUIRED BETWEEN ALL WATER AND FIRE SERVICE TAPS INTO THE MAIN. ALL CONNECTIONS MUST BE MADE MEETING SLC PUBLIC UTILITIES REQUIREMENTS. A 5-FOOT MINIMUM BURY DEPTH (FINAL GRADE TO TOP OF PIPE) IS REQUIRED ON ALL WATER/FIRE LINES UNLESS OTHERWISE APPROVED BY PUBLIC UTILITIES. WATER LINE THRUST BLOCKS AND RESTRAINTS ARE AS PER SLC APPROVED DETAIL DRAWINGS AND SPECIFICATIONS. ALL EXPOSED NUTS AND BOLTS WILL BE COATED WITH CHEVRON F1 GREASE PLUS MINIMUM 8 MIL THICKNESS PLASTIC. PROVIDE STAINLESS STEEL NUTS, BOLTS AND WASHERS FOR HIGH GROUNDWATER / SATURATED CONDITIONS AT FLANGE FITTINGS, ETC.

TWIN PEAKS
 Engineering & Land Surveying
 2264 NORTH 1450 EAST LEHI, UTAH 84043
 (801) 450-3511

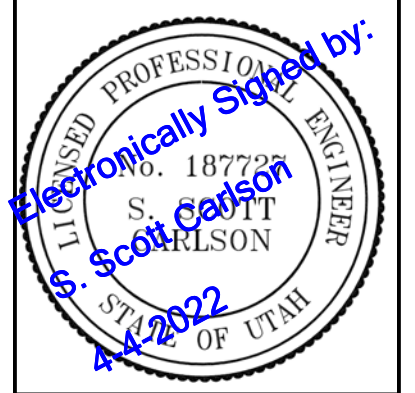


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3	10000.37	20792.18	4281.6	MON 200 SOUTH-200 WEST
4	10000.02	20000.02	4266.46	MON 300 WEST-200 SOUTH
10	10476.27	20399.08		Corner 3
11	10476.16	20481.61		Corner 4
12	10459.65	20481.59		Corner 5
13	10459.30	20729.15		Corner 6
14	10062.98	20728.40		Corner 7
15	10063.89	20200.44		Corner 8
16	10228.95	20200.67		Corner 9
17	10393.91	20266.93		Corner 10



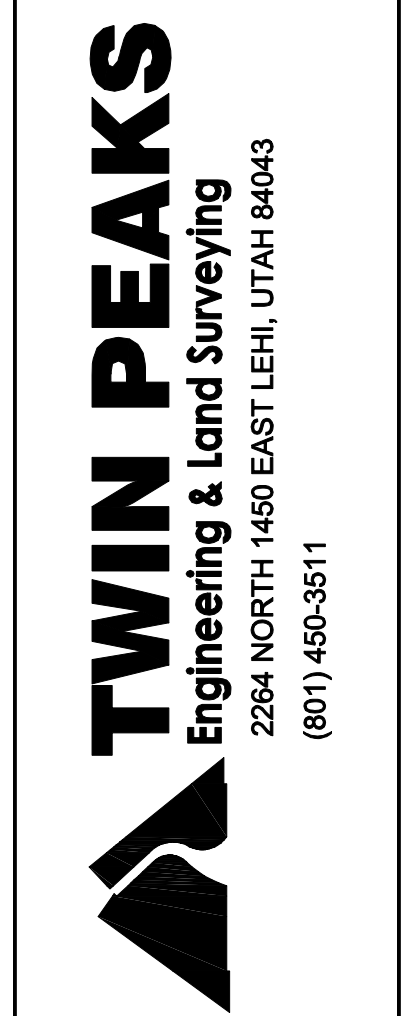
LEGEND

- = ROAD CENTER LINE & INTERSECTION MONUMENT
- = BOUNDARY LINE & SET #5 REBAR & CAP "PLS 356548"
- = CENTERLINE FIBER OPTIC (fo)
- = CENTERLINE WATER (8 w)
- = CENTERLINE STORM DRAIN (36 sd) (15 sd)
- = CENTERLINE GAS (4 g) (6 g) (16 g)
- = CENTERLINE 8" SEWER PIPE (8 ss)
- = UNDERGROUND ELECTRICAL (uwp)
- = OVERHEAD ELECTRIC LINES (ohp)
- = BUILDING PERIMETER LINES
- = LIGHT POLES
- = POWER POLES
- = TREES



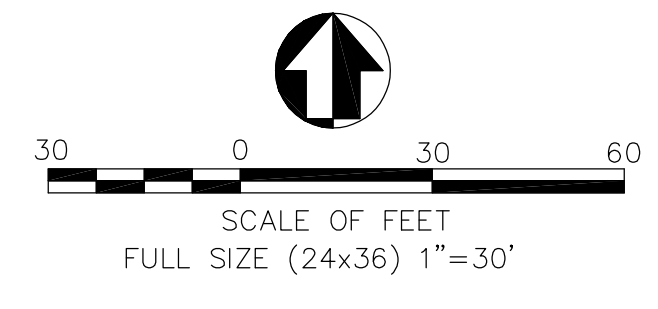
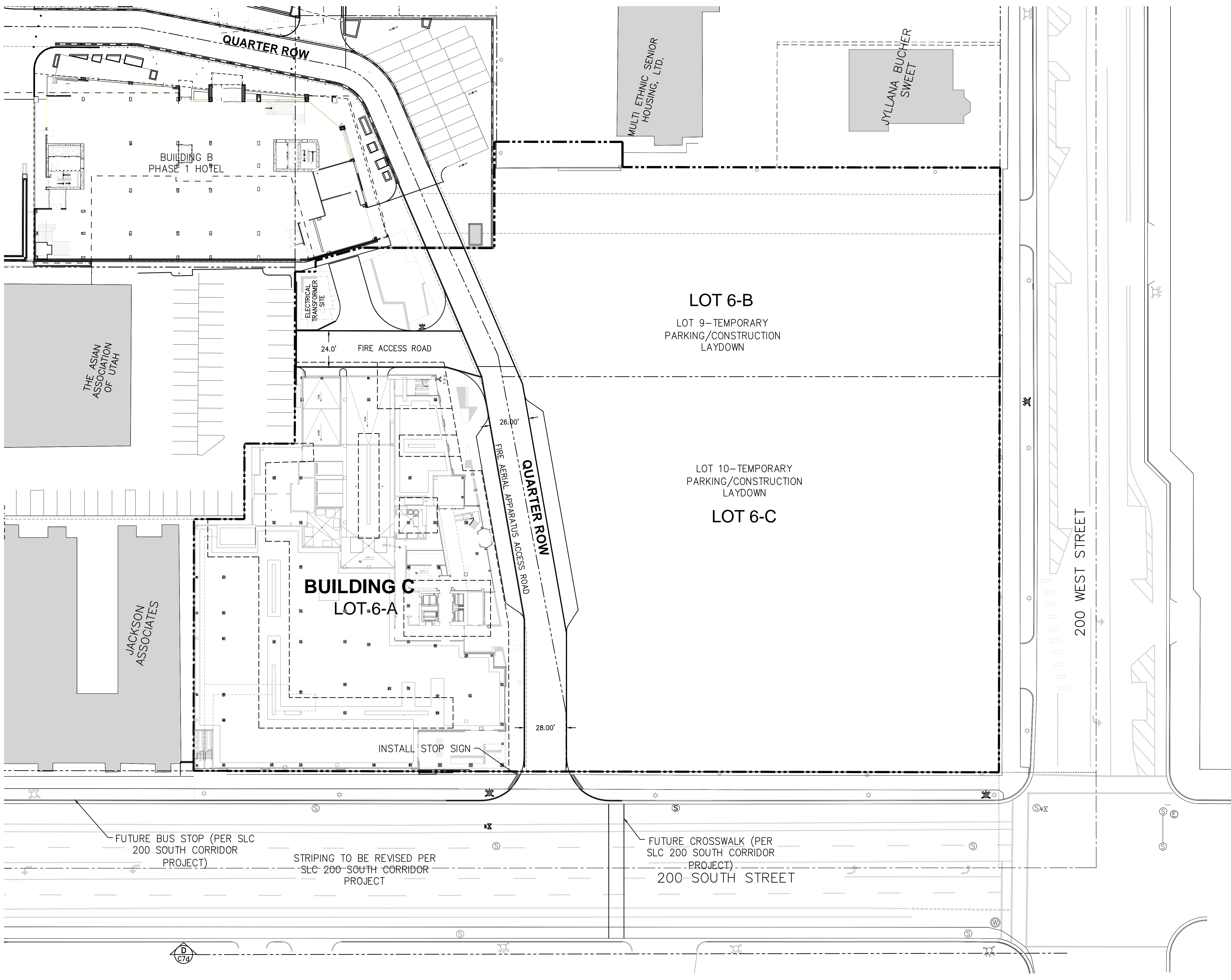
Permit Set

**THE WEST QUARTER
BLOCK C- EXISTING CONDITIONS
260 WEST 200 SOUTH
SALT LAKE CITY, UTAH**



DWG DATE:	JULY 2021
PLOT DATE:	01 April 2022
SHEET	C1





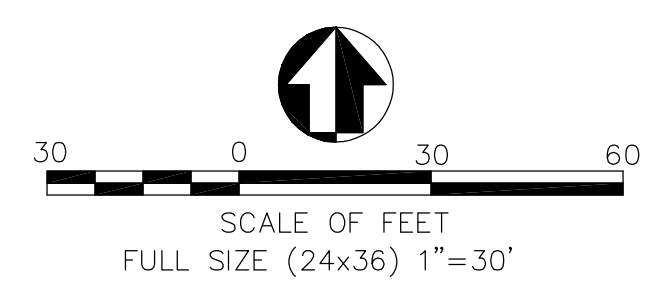
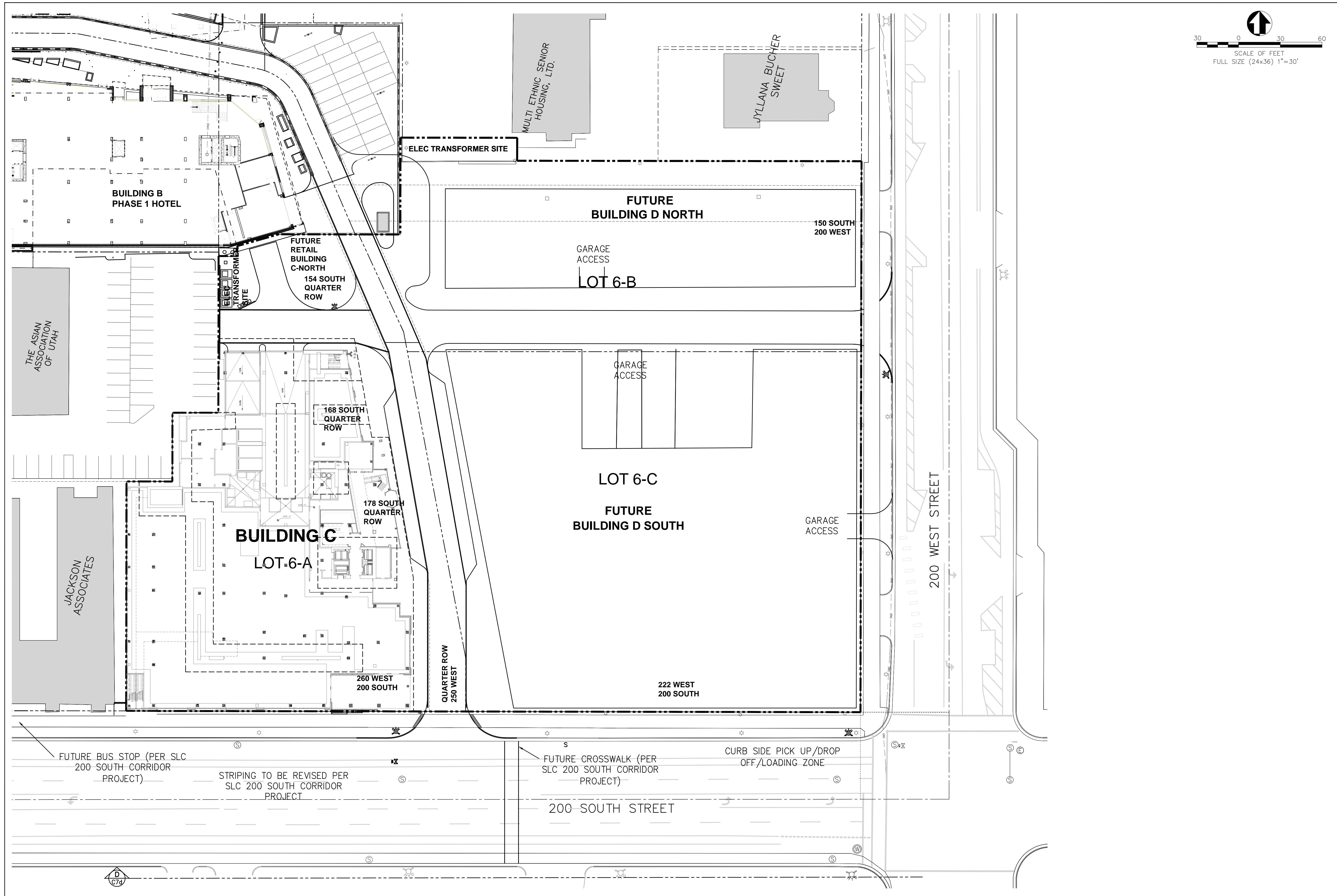
Permit Set

**THE WEST QUARTER
BLOCK C- SITE PLAN
260 WEST 200 SOUTH
SALT LAKE CITY, UTAH**

TWIN PEAKS
Engineering & Land Surveying
2264 NORTH 1450 EAST LEHI, UTAH 84043
(801) 450-3511

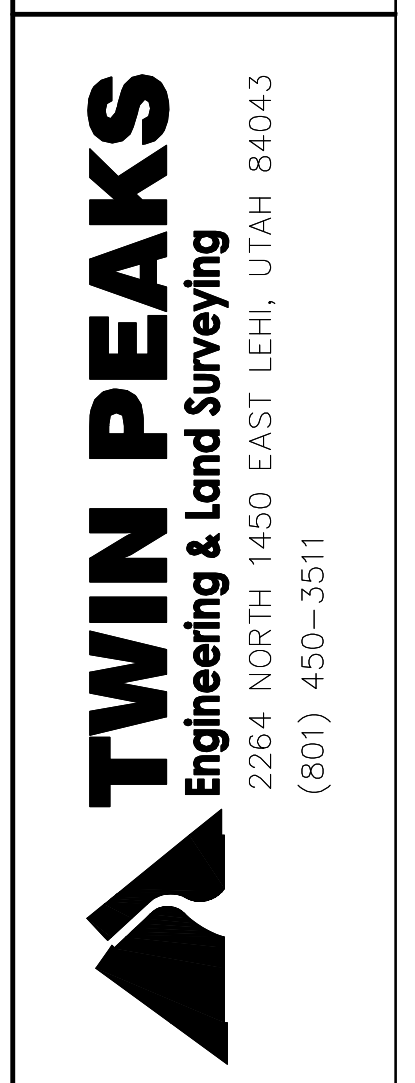
DWG DATE: JULY 2021
PLOT DATE: 02 April 2022

SHEET
C4



Permit Set

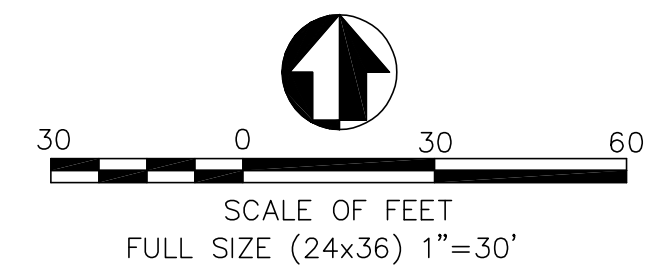
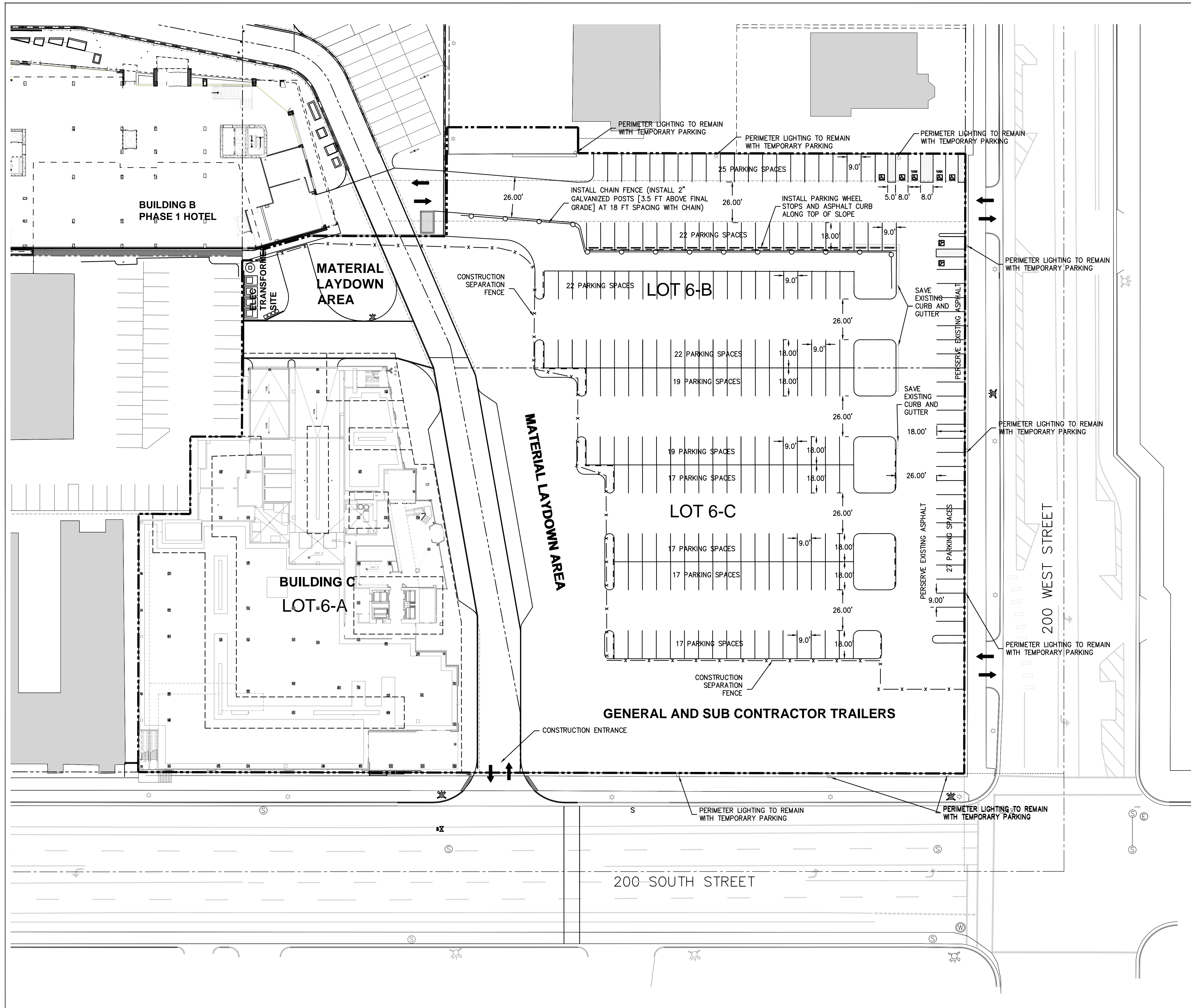
**THE WEST QUARTER
BLOCK CD- SITE PLAN
260 WEST 200 SOUTH
SALT LAKE CITY, UTAH**



DWG DATE: JULY 2021
PLOT DATE: 05 April 2022

SHEET

C4a

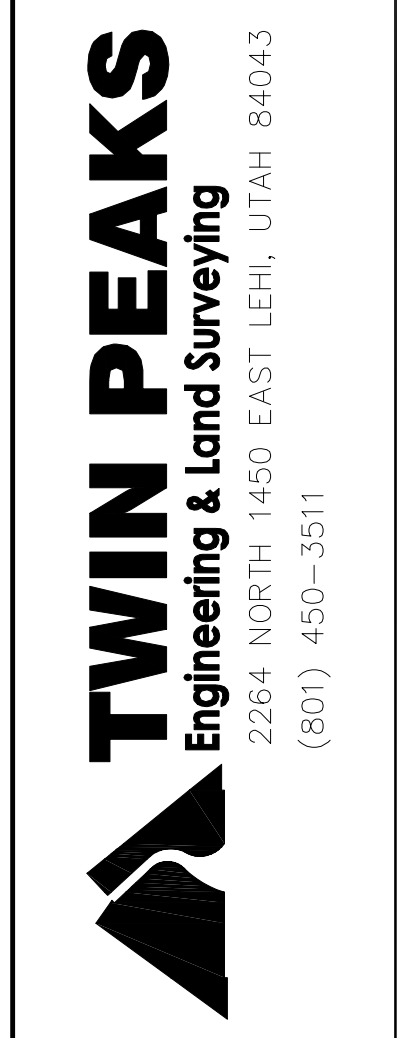


NOTES:
TEMPORARY PARKING AREA, CONSTRUCTION MATERIAL LAYDOWN AREA, AND CONTRACTOR TRAILER AREA SHALL BE FILLED BASED ON FINISHED GRADES SHOWN ON C6 WITH COMPACTED FILL MATERIAL, THEN SURFACED WITH 4" COMPACTED ROAD BASE AND 2" ASPHALT.

PARKING SPACES AND ISLANDS SHOWN SHALL BE PAINTED WITH 4" YELLOW STRIPES

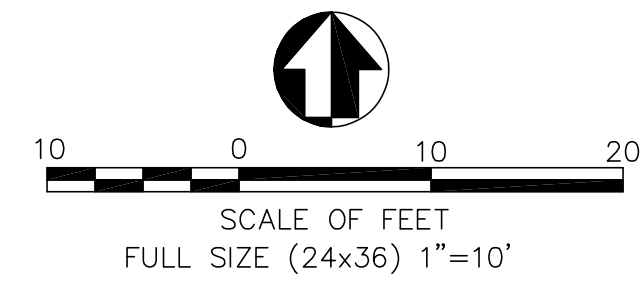
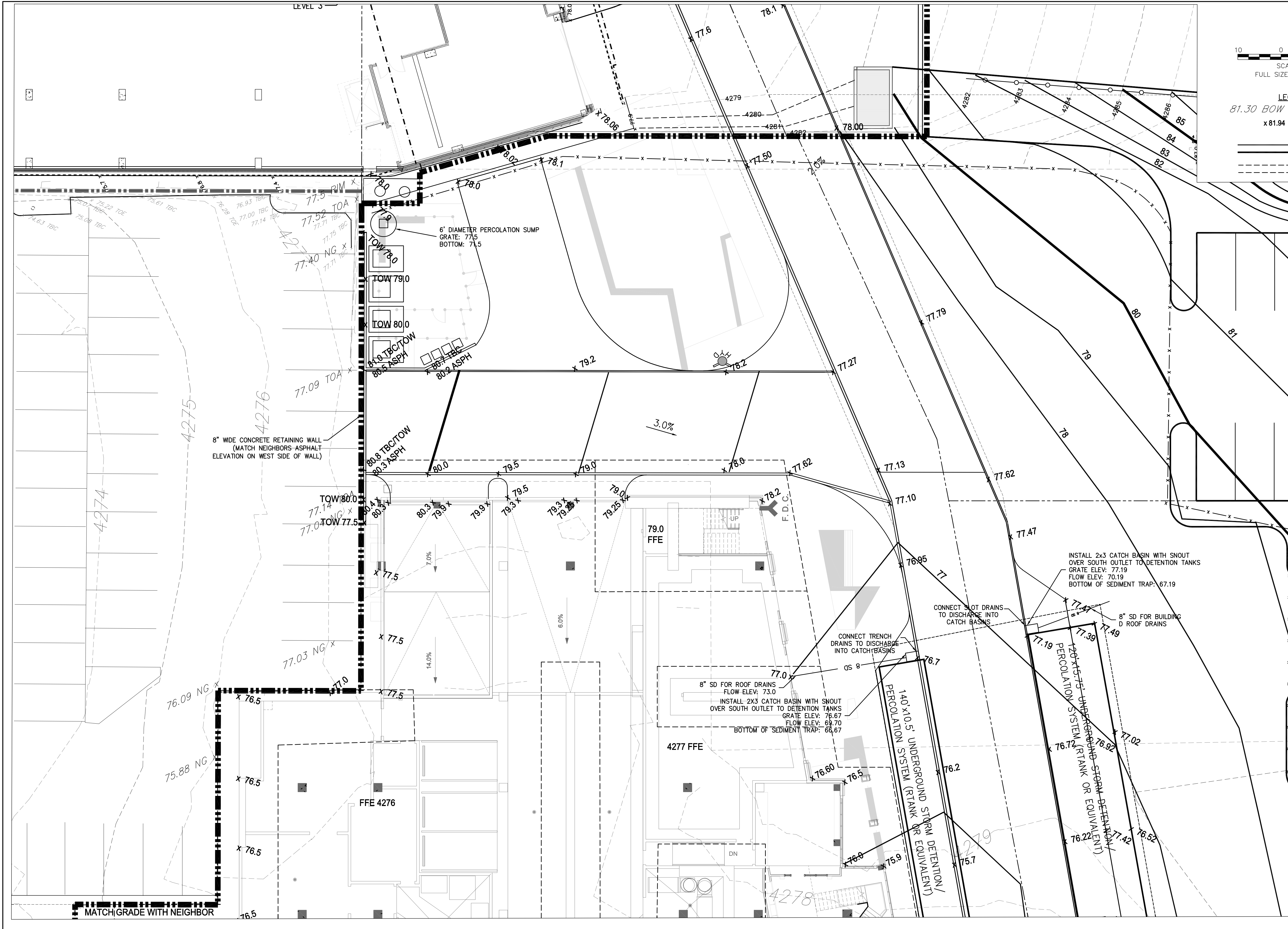
PRESERVE EXISTING ASPHALT EAST OF EXISTING ROYALWOOD BUILDING AND COVERED PARKING

Permit Set
**THE WEST QUARTER
BLOCK CD- PHASED TEMPORARY PARKING
260 WEST 200 SOUTH
SALT LAKE CITY, UTAH**



DWG DATE: JULY 2021
PLOT DATE: 05 April 2022

SHEET
C4b

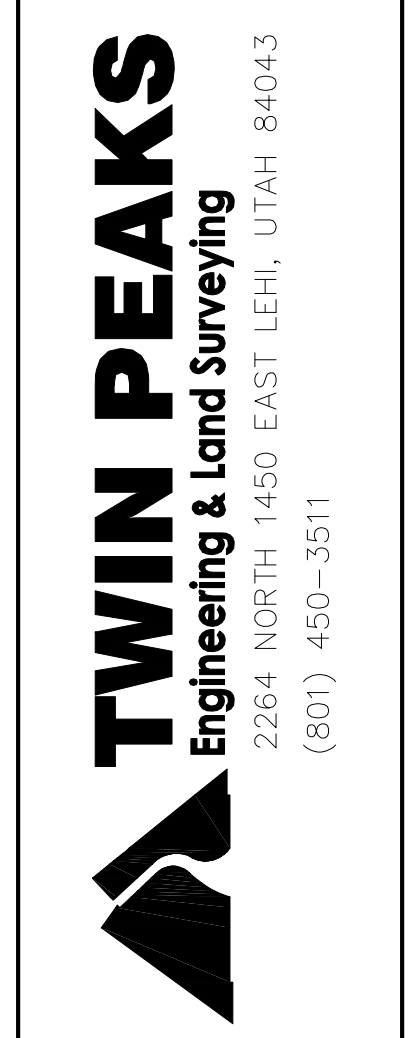


- LEGEND**
- 81.30 BOW x = EXISTING POINTS
 - x 81.94 = DESIGN POINTS
 - = PROPOSED CONTOURS
 - - - = EXISTING CONTOURS



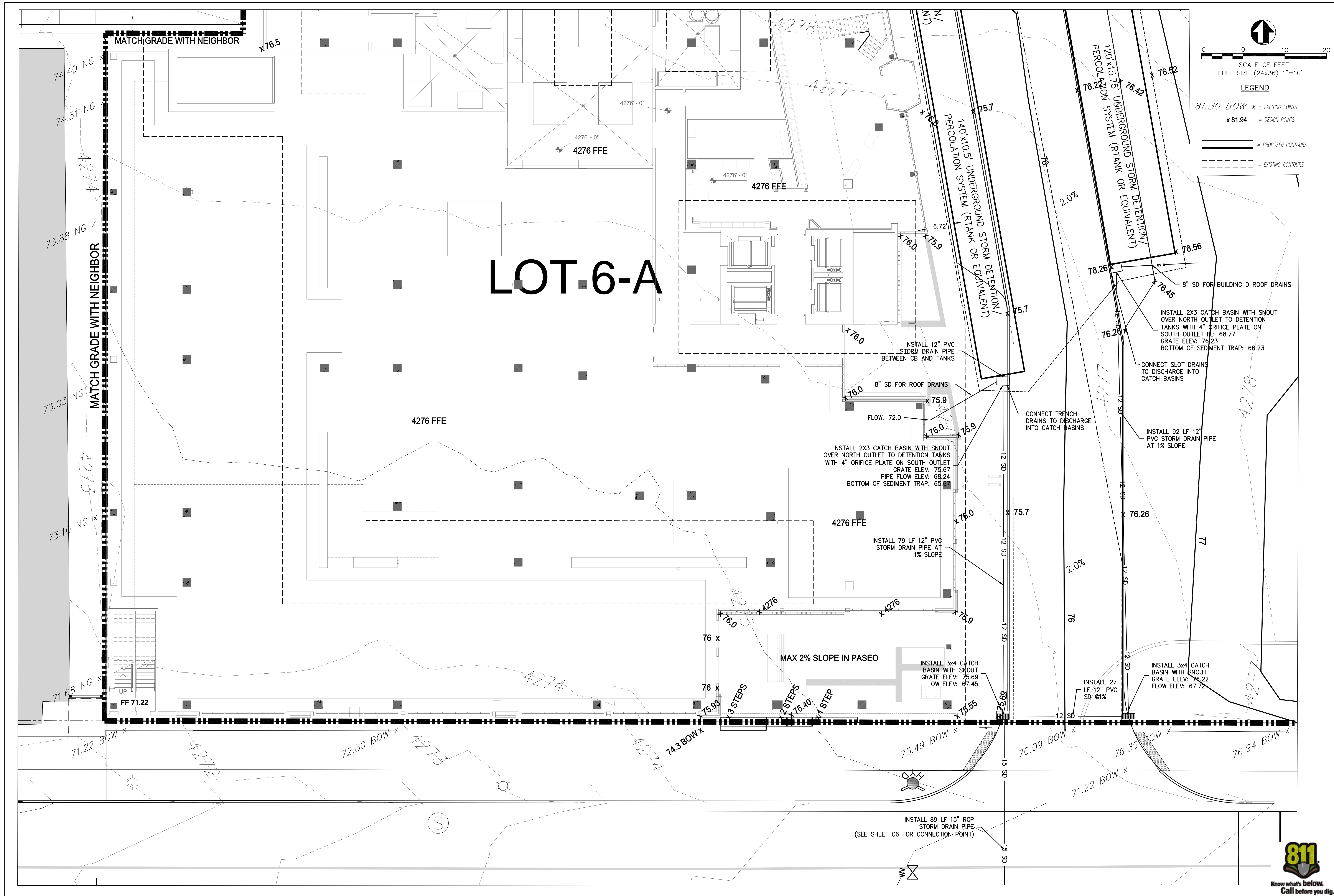
Permit Set

**THE WEST QUARTER
BLOCK C- GRADING PLAN A
260 WEST 200 SOUTH
SALT LAKE CITY, UTAH**



DWG DATE: JULY 2021
PLOT DATE: 05 April 2022

SHEET
C6a



10 0 10 20
 SCALE OF FEET
 FULL SIZE (24x36) 1"=10'

LEGEND
 81.30 BOW x = EXISTING POINTS
 x 81.94 = DESIGN POINTS
 — = PROPOSED CONTOURS
 - - - = EXISTING CONTOURS



Permit Set

**THE WEST QUARTER
 BLOCK C- GRADING PLAN B
 260 WEST 200 SOUTH
 SALT LAKE CITY, UTAH**

TWIN PEAKS
 Engineering & Land Surveying
 2264 NORTH 1450 EAST LEHI, UTAH 84043
 (801) 450-3511

DWG DATE: JULY 2021
 PLOT DATE: 06 April 2022

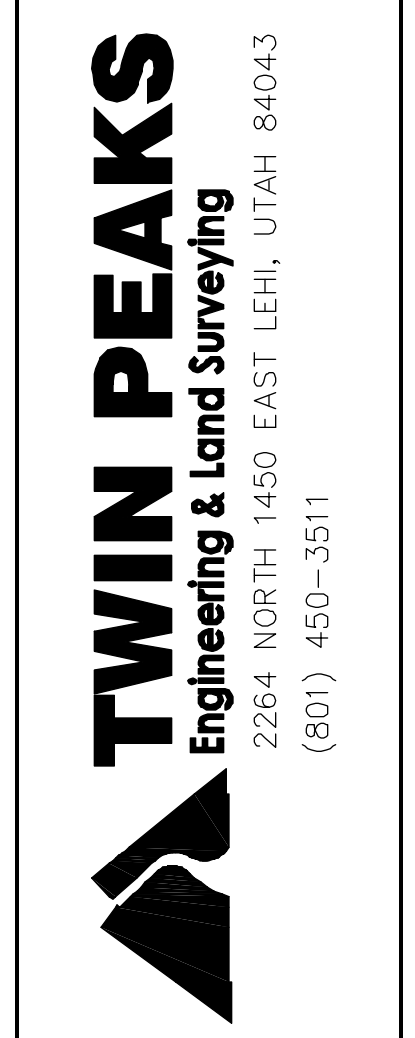
SHEET
C6b





Permit Set

**BLOCK 67 - PHASE 2
UNDERGROUND STORM WATER DETAILS
260 WEST 200 SOUTH
SALT LAKE CITY, UTAH**



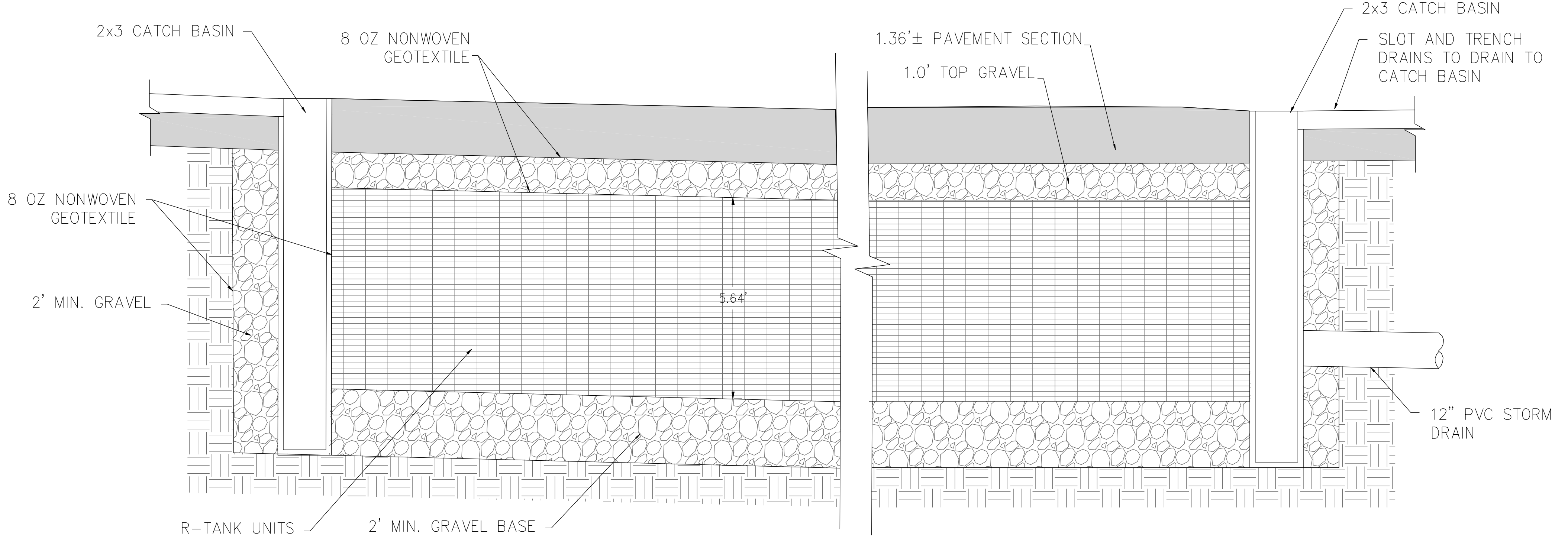
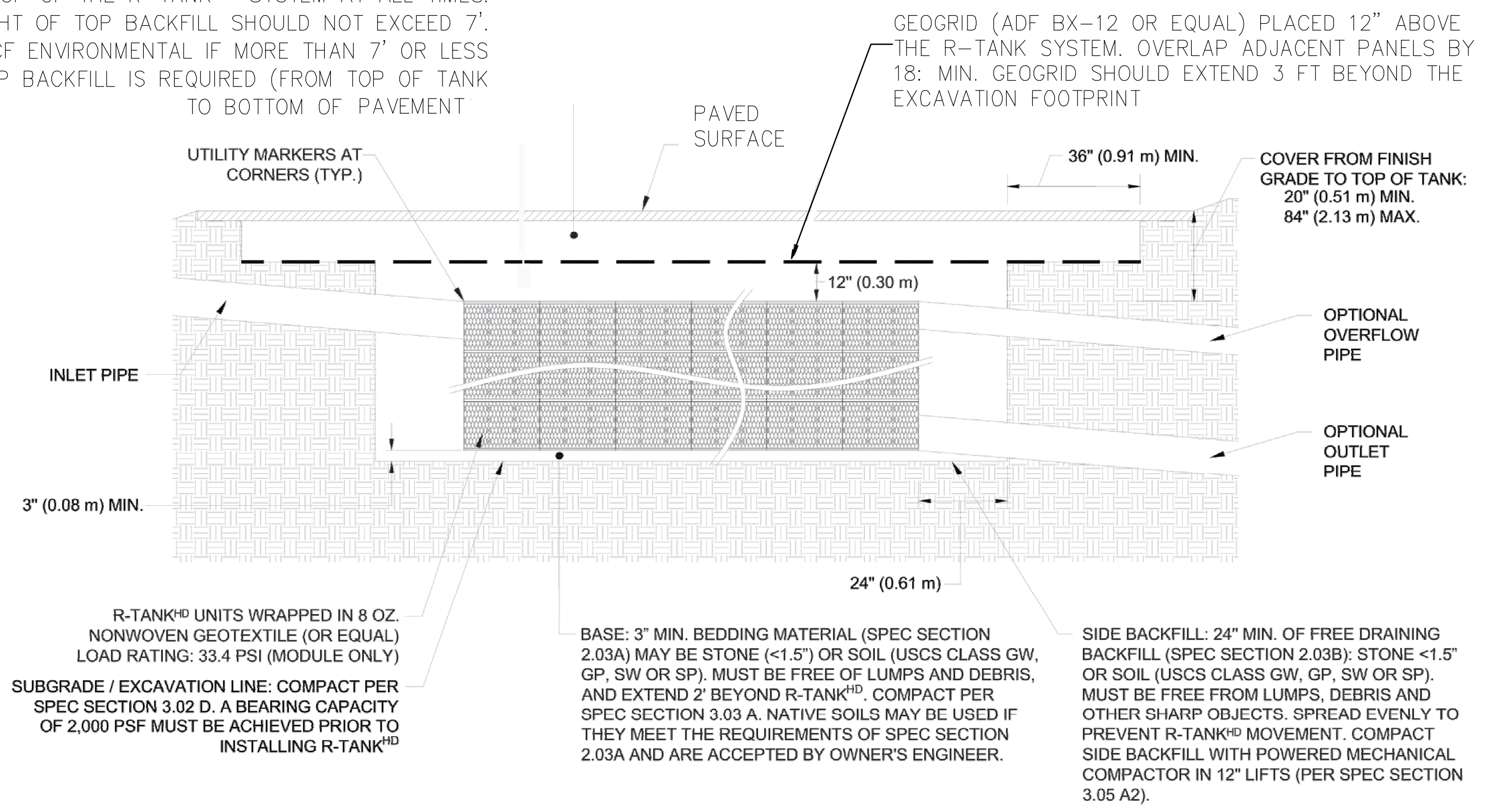
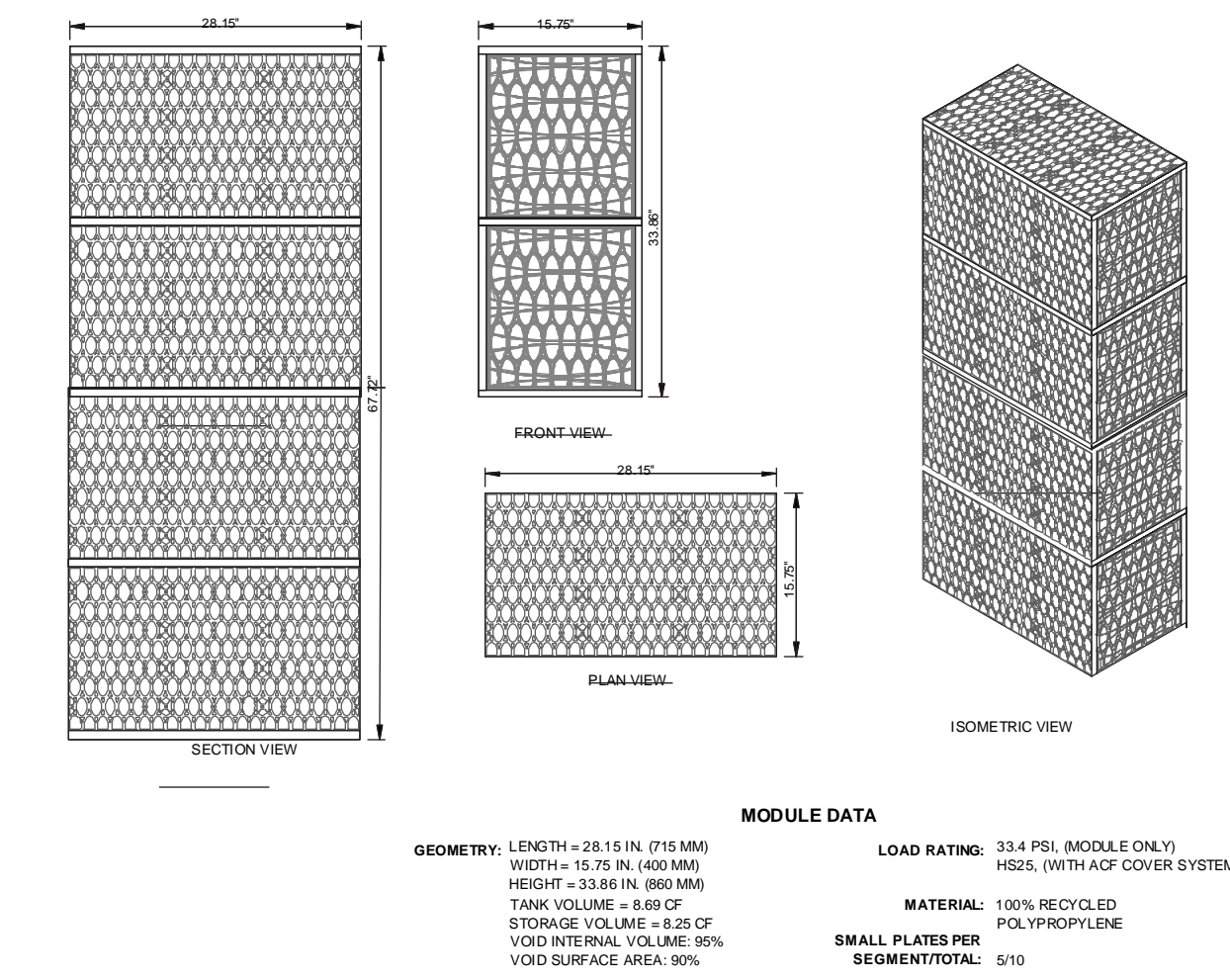
DATE: JULY 2021
PLOT DATE: 06 April 2022

SHEET
C6d

TOTAL COVER: 20" MINIMUM AND 84" MAXIMUM. FIRST 12" MUST BE FREE DRAWING BACKFILL (SPEC SECTION 2.03B); STONE <1.5" OR SOIL (USCS CLASS GW, GP, SW, OR SP). ADDITIONAL FILL MAY BE STRUCTURAL FILL (SPEC SECTION 2.03C): STONE OR SOIL (USCS CLASS SM, SP, SW, GM, GP OR GW) WITH MAX CLAY CONTENT <10% MAX 25% PASSING NO. 200 SIEVE, AND MAX PLASTICITY INDEX OF 4. A MIN. 12" COVER MUST BE MAINTAINED BETWEEN BACKFILL EQUIPMENT AND THE TOP OF THE R-TANK SYSTEM AT ALL TIMES. TOTAL HEIGHT OF TOP BACKFILL SHOULD NOT EXCEED 7'. CONTACT ACF ENVIRONMENTAL IF MORE THAN 7' OR LESS THAN 12" OF TOP BACKFILL IS REQUIRED (FROM TOP OF TANK TO BOTTOM OF PAVEMENT)

NOTES:
1. FOR COMPLETE MODULE DATA, SEE APPROPRIATE R-TANK MODULE SHEET.
2. PRE-TREATMENT STRUCTURES NOT SHOWN.
3. FOR INFILTRATION APPLICATIONS. GEOTEXTILE ENVELOPING R-TANK SHALL BE AVF M22 (PER SPEC SECTION 2.02A) AND BASE SHALL BE 2' MIN. UNCOMPACTED FREE DRAINING BACKFILL (SPEC SECTION 2.03A) TOO PROVIDE A LEVEL BASE. SURFACE MUST BE SMOOTH, FREE OF LUMPS OR DEBRIS, AND EXTEND 2' BEYOND R-TANK FOOTPRINT.

MODULE DRAWING - QUAD

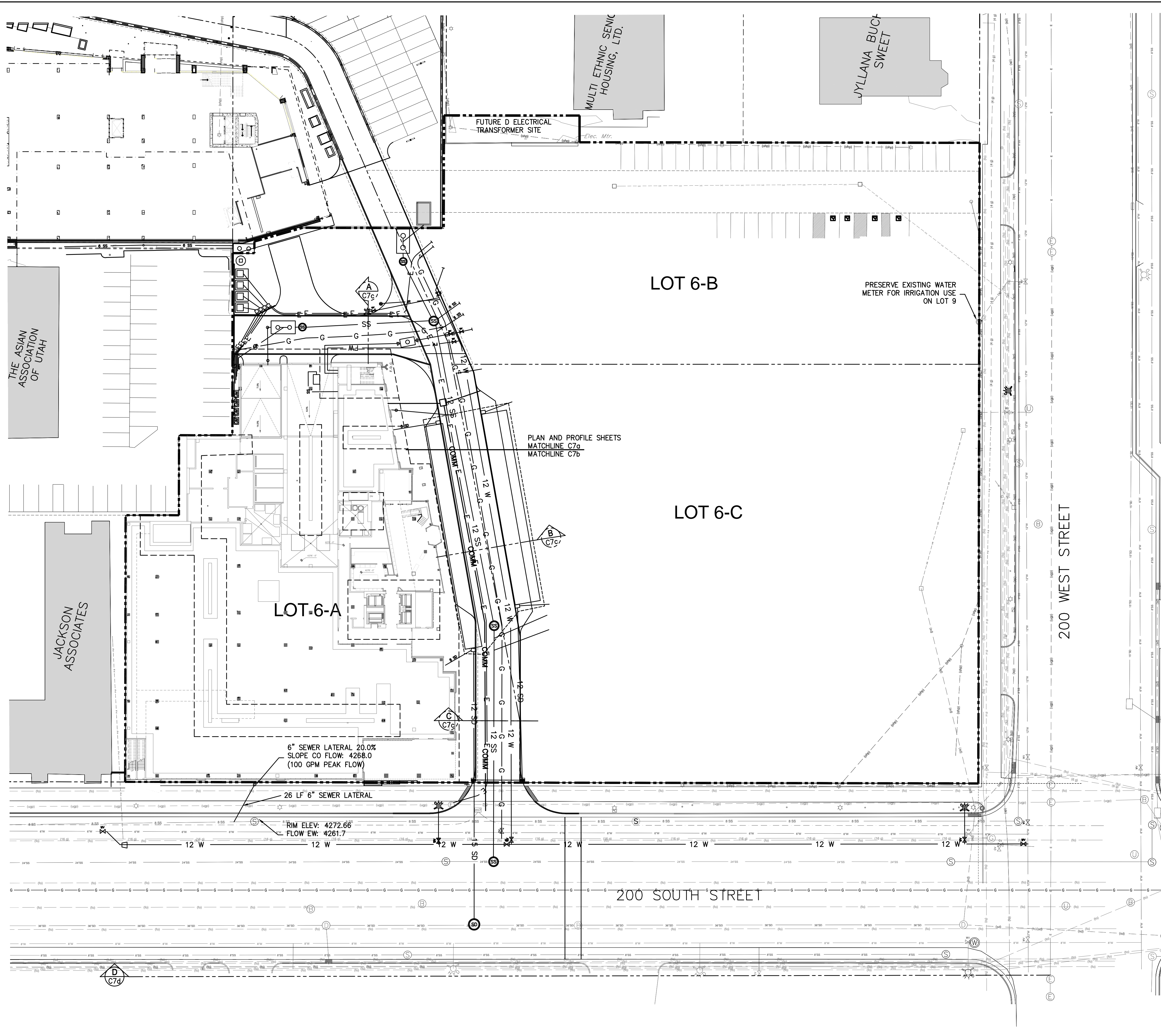


**R-TANK DETAILS
NTS**

SPECIFICATIONS

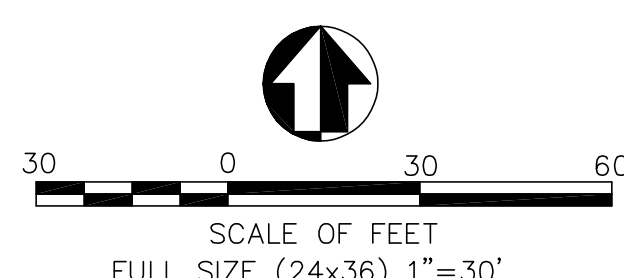
Item	Description	Value
Void Area	Volume available for water storage	95%
Surface Area Void	% of exterior available for infiltration	90%
Compressive Strength	ASTM D 2412/ ASTM F 2318	33.4 psi
Unit Weight	Weight of plastic per cubic foot of tank	3.62 lbs/cf
Rib Thickness	Thickness of load-bearing members	0.18"
Service Temperature	Safe temperature range for use	-14 - 167° F
Recycled Content	Use of recycled polypropylene	100%
Minimum Cover	Cover required for HS-20 loading	20"
	Cover required for HS-25 loading	24"
Maximum Cover	Maximum allowable cover depth	6.99'





LEGEND

—●— = ROAD CENTER LINE & INTERSECTION MONUMENT	◇ = SEWER MANHOLE NUMBER
— = BOUNDARY LINE	⊙ = UNKNOWN MANHOLE
— = SANITARY SEWER	⊙ = ELECTRIC MANHOLE
— = 8" SANITARY SEWER, OR SIZE, AS NOTED	⊙ = STORM DRAIN MANHOLE
— = STORM DRAIN	⊙ = SANITARY SEWER MANHOLE
— = 8" WATER, OR SIZE AND TYPE AS NOTED	⊙ = BELL TELEPHONE MANHOLE
— = SPRING	⊙ = GAS MANHOLE
— = CENTURY LINK	□ = UTILITY BOX AS LABELED
— = US WEST	● = GUY POLE
— = ELECTRIC	⊙ = WATER MANHOLE
— = OVERHEAD ELECTRIC	⊙ = GAS VALVE
— = MCI	⊙ = FIRE HYDRANT
— = TRAFFIC STRIPING	⊙ = WATER VALVE
— = GAS	⊙ = LIGHT POLE
— = ATT	⊙ = POWER POLE
— = PROPOSED STORM DRAIN	□ = CATCH BASIN
— = PROPOSED SEWER	■ = CURB CATCH BASIN
— = PROPOSED WATER	□ = SIGN OR FEATURE AS NOTED
— = PROPOSED ELECTRICAL CONDUIT	□ = ELECTRIC BOX
— = PROPOSED GAS	■ = GRAVEL DRAINAGE AREA
— = PROPOSED COMMUNICATION CONDUITS	



NOTE: PROVIDE PROPER VENTILATION FOR GREASE TRAP TO ACCEPTABLE LOCATION. DO NOT COMBINE WITH OTHER BUILDING PLUMBING VENTS

NOTE: FOR ANY INSTALLATION OR RELOCATION OF UTILITY LINES OR OTHER CONSTRUCTION WORK THAT IMPACTS CURB, GUTTER, SIDEWALK OR PAVEMENT:

FOLLOW APWA # 231 FOR REPAIR OF SIDEWALK,
FOLLOW APWA #205 FOR REPAIR OF CURB & GUTTER,
FOLLOW APWA#255 FOR REPAIR OF ASPHALT
FOLLOW APWA #225 FOR RADIUS DRIVE APPROACHES

REPLACE CURB GUTTER OR SIDEWALK TO NEXT EXISTING JOINT WORK WITHIN THE 200 SOUTH STREET RIGHT OF WAY WILL REQUIRE A RIGHT OF WAY PERMIT FROM SLC ENGINEERING. (A PUBLIC RIGHT OF WAY PERMIT FROM SLC ENGINEERING IS SEPARATE FROM PERMITS ISSUED BY OTHER SLC ENTITIES SUCH AS BUILDING SERVICES, PUBLIC UTILITIES ETC. IT MUST BE OBTAINED BY CONTRACTOR WITH BOND INSURANCE AND LICENSE ON FILE WITH THE ENGINEERING OFFICE.)

CITY ORDINANCE 17.48.200 REQUIRES THAT A SEWER LATERAL CANNOT BE PLACED UNTIL THE SUB ROUGH IS IN. IF CONSTRUCTION SEQUENCING REQUIRES THAT THE SEWER LATERALS BE INSTALLED PRIOR TO THE SUB ROUGH, THEN AN EXCEPTION TO THE ORDINANCE WILL NEED TO BE APPROVED BY CITY IN ADVANCE OF LATERAL INSTALLATION.

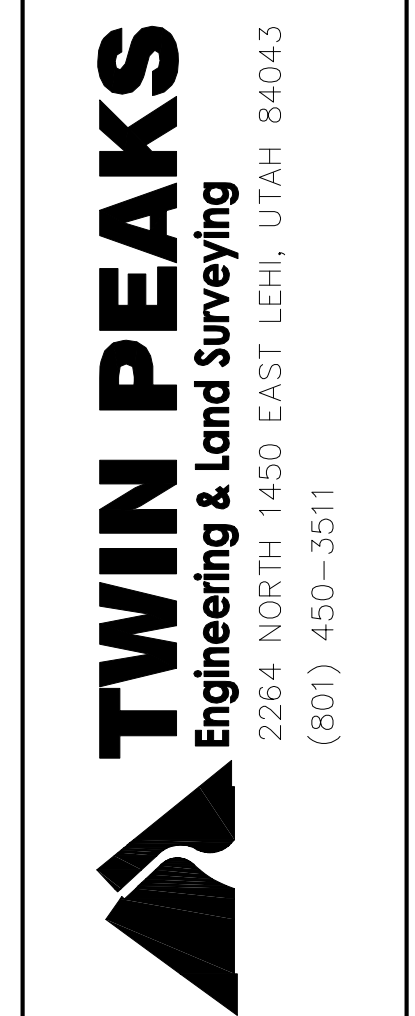
POWER COMPANY, GAS COMPANY AND COMMUNICATION COMPANIES ARE RESPONSIBLE FOR SUBMITTING DESIGN PLANS AS REQUIRED BY TITLE 14 CHAPTER 32 OF THE REVISED ORDINANCES OF SALT LAKE CITY FOR ALL PROPOSED WORK FOR THEIR RESPECTIVE UTILITY LINES IN OR ADJACENT TO THE CITY ROW OR A PUBLIC UTILITIES ROW. PLAN REVIEWS ARE REQUIRED BY THE PUBLIC UTILITIES DEPT. UTILITY COORDINATOR AND THE CITY ENGINEERING PUBLIC WAY PERMIT PLAN REVIEWER.

ALL UTILITIES MUST MEET HORIZONTAL AND VERTICAL CLEARANCE REQUIREMENTS. WATER AND SEWER LINES REQUIRE 10 FEET MINIMUM HORIZONTAL SEPARATION AND 18" MINIMUM VERTICAL SEPARATION. SEWER MUST MAINTAIN 5 FEET MINIMUM HORIZONTAL SEPARATION AND 12" VERTICAL SEPARATION FROM ANY NON-WATER UTILITIES. WATER MUST MAINTAIN 3 FEET MINIMUM HORIZONTAL SEPARATION AND 12" VERTICAL SEPARATION FROM ANY NON-SEWER UTILITIES



Permit Set

**THE WEST QUARTER
BLOCK C - UTILITY PLAN
260 WEST 200 SOUTH
SALT LAKE CITY, UTAH**



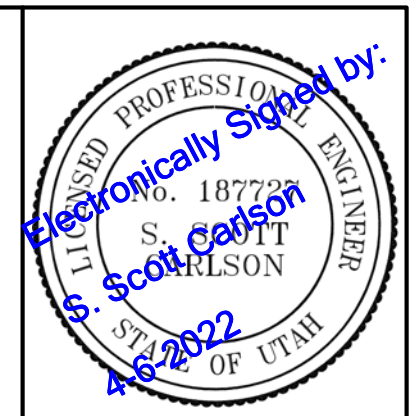
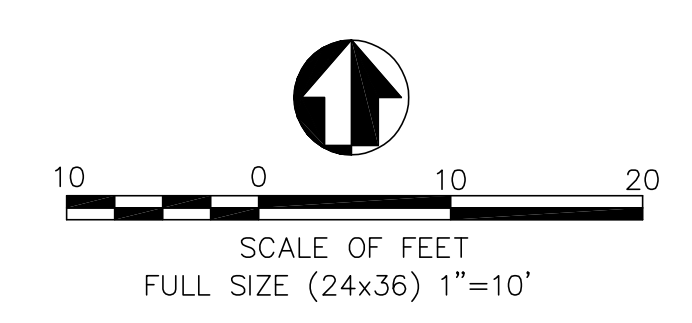
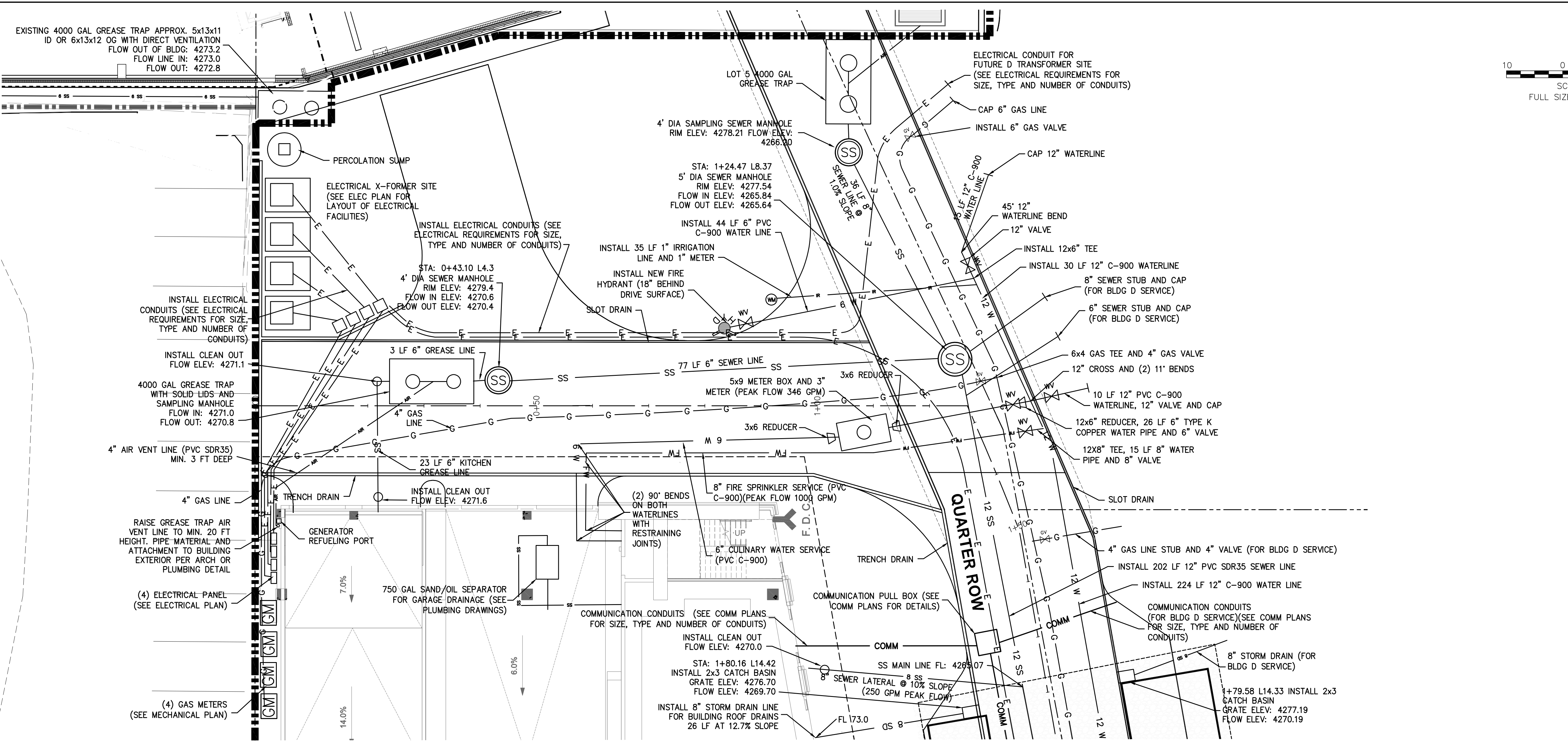
DATE: JULY 2021

DATE: 05 April 2022

SHEET

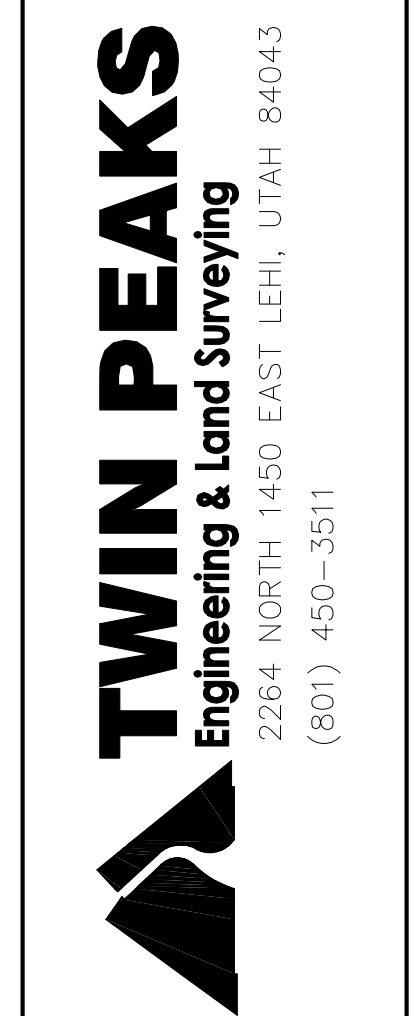


C7



Permit Set

**THE WEST QUARTER
BLOCK C - UTILITY PLAN A
260 WEST 200 SOUTH
SALT LAKE CITY, UTAH**

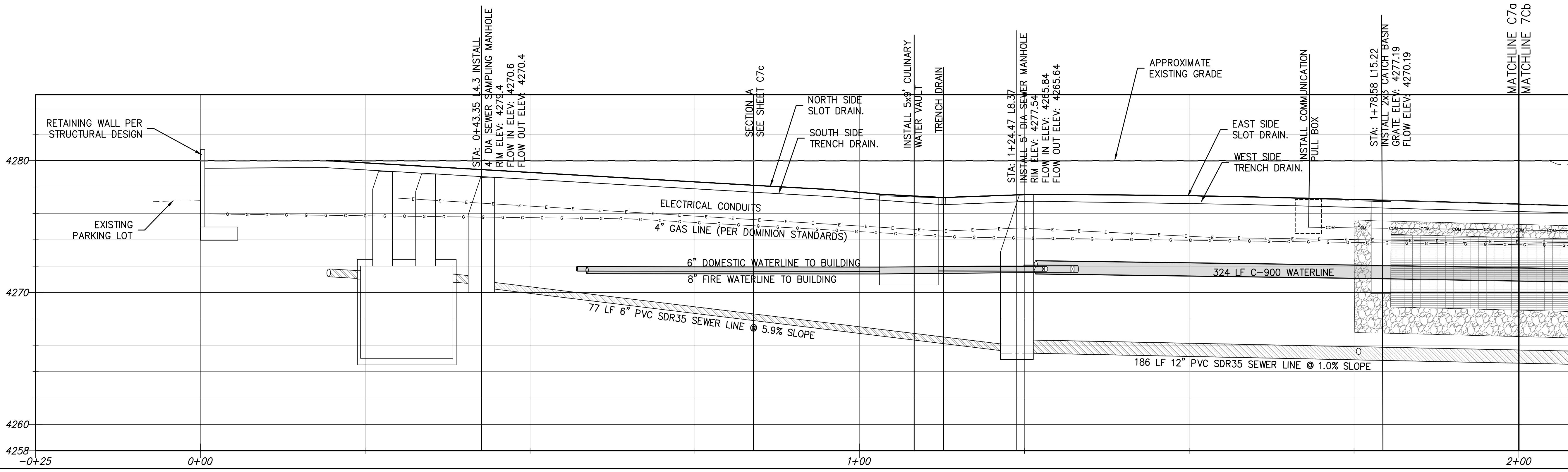


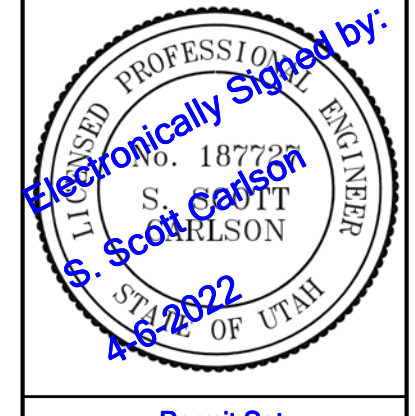
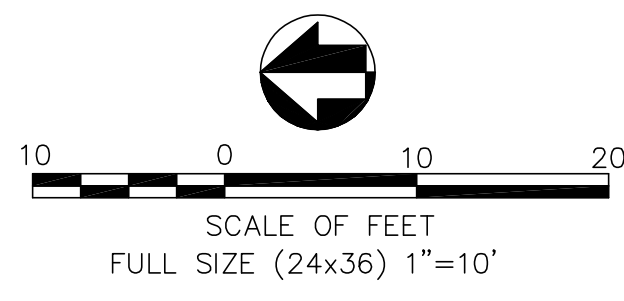
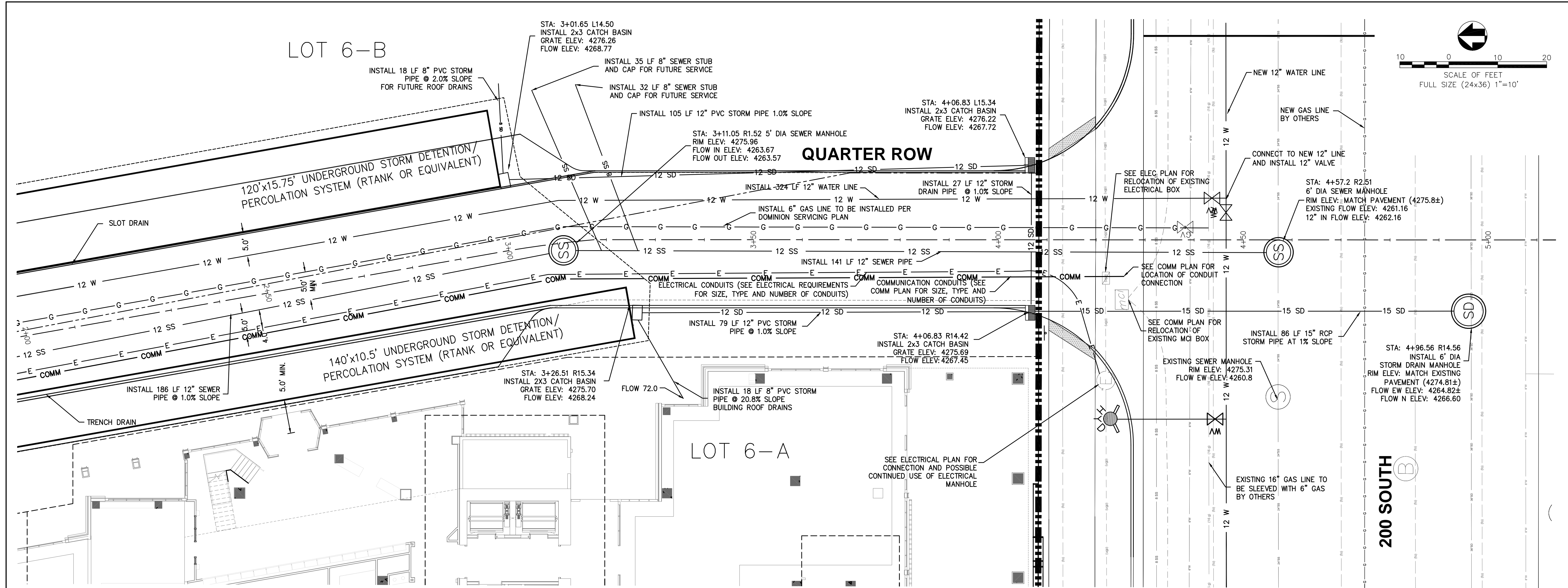
DWG DATE: JULY 2021

PLOT DATE: 06 April 2022

SHEET

C7a

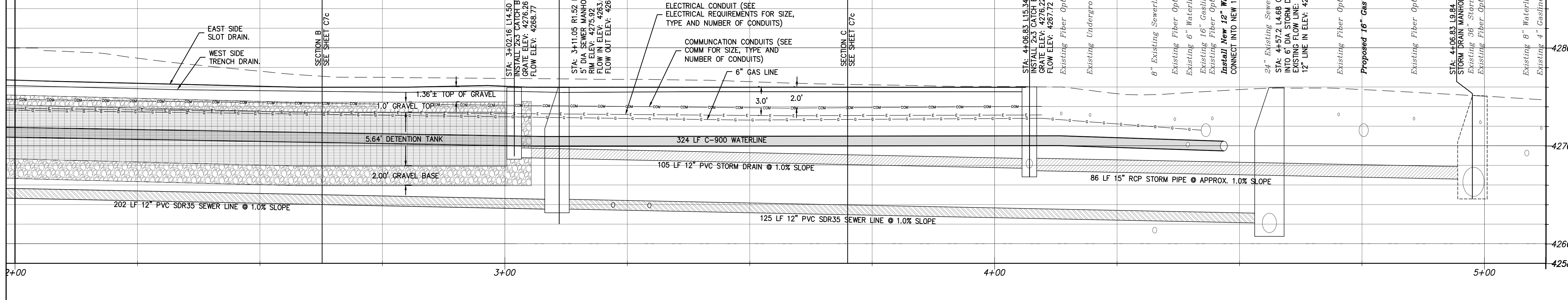




Permit Set

**THE WEST QUARTER
BLOCK C - UTILITY PLAN
260 WEST 200 SOUTH
SALT LAKE CITY, UTAH**

MATCHLINE C/C
MATCHLINE 7Cb



NOTE: DEPTH EXISTING DRY UTILITIES IS ESTIMATED CONTRACTOR TO VERIFY UNDERGROUND CONDITIONS PRIOR TO DIGGING



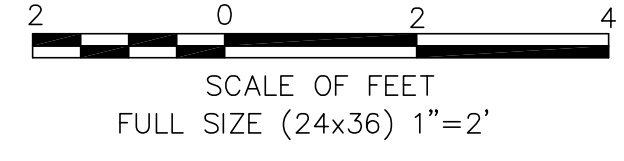
TWIN PEAKS
Engineering & Land Surveying
2264 NORTH 1450 EAST LEHI, UTAH 84043
(801) 450-3511

DWG DATE: JULY 2021
PLOT DATE: 05 April 2022

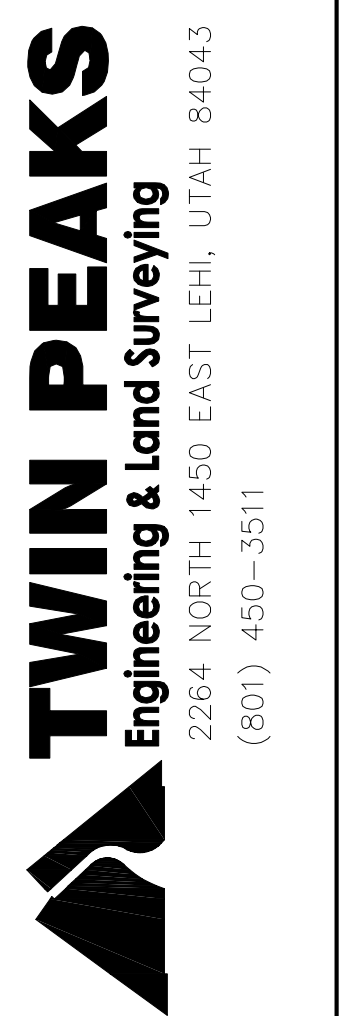
SHEET
C7b



Permit Set



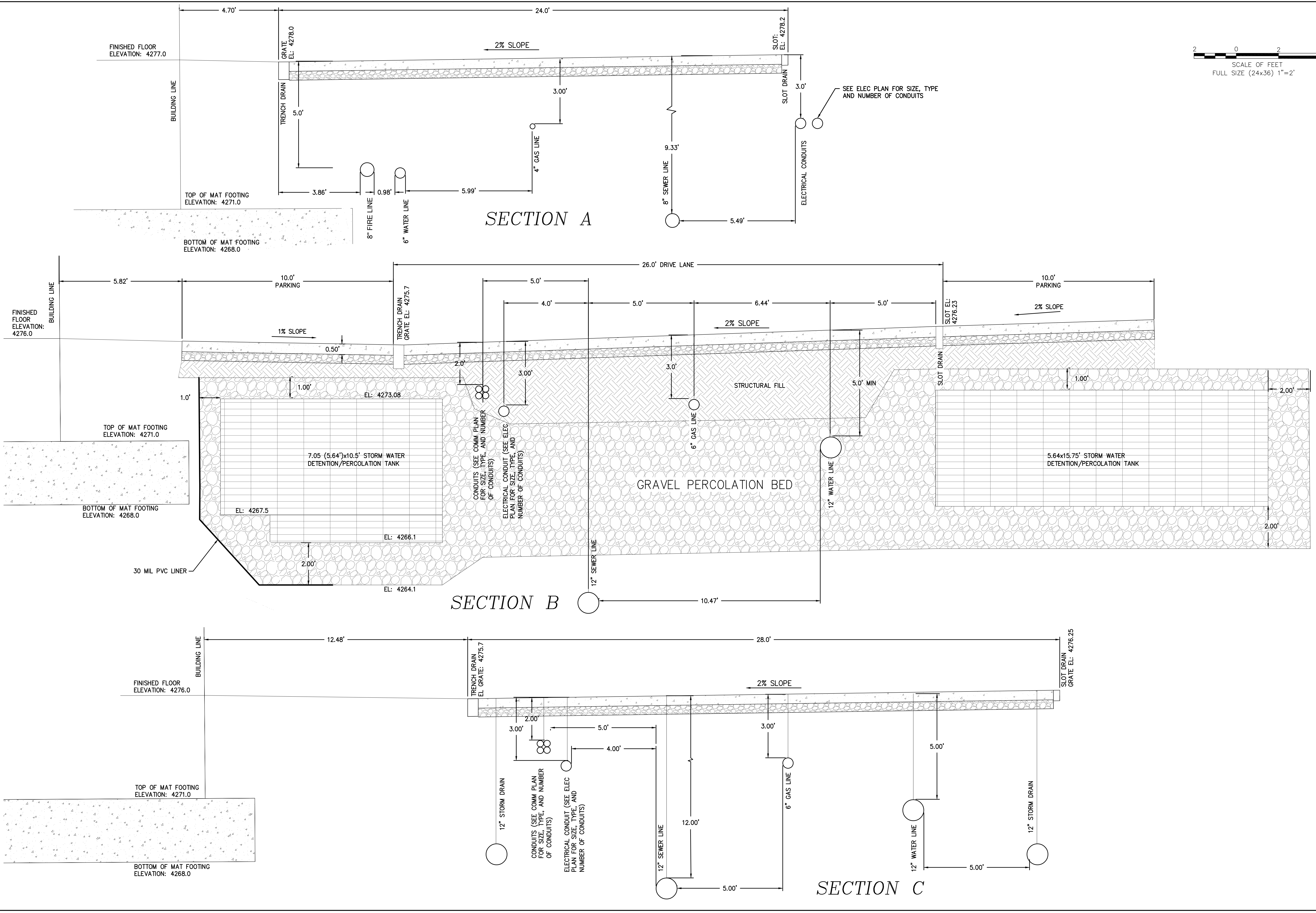
THE WEST QUARTER
BLOCK C - UTILITY SECTIONS
260 WEST 200 SOUTH
SALT LAKE CITY, UTAH

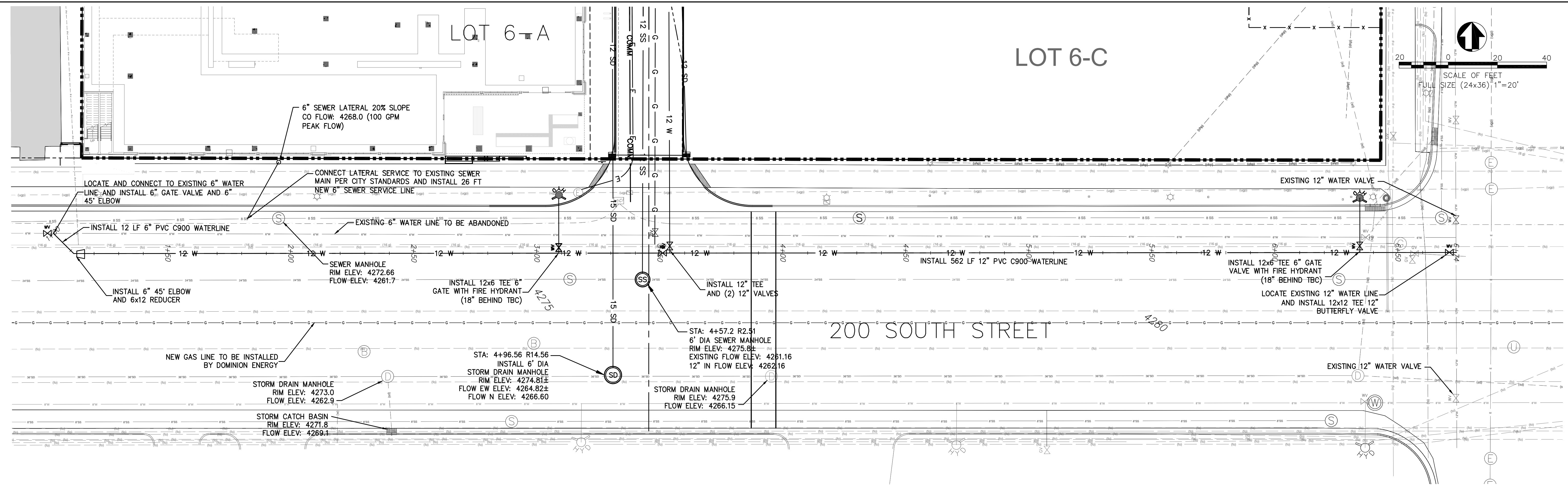


DWG DATE: JULY 2021
PLOT DATE: 06 April 2022

SHEET

C7c

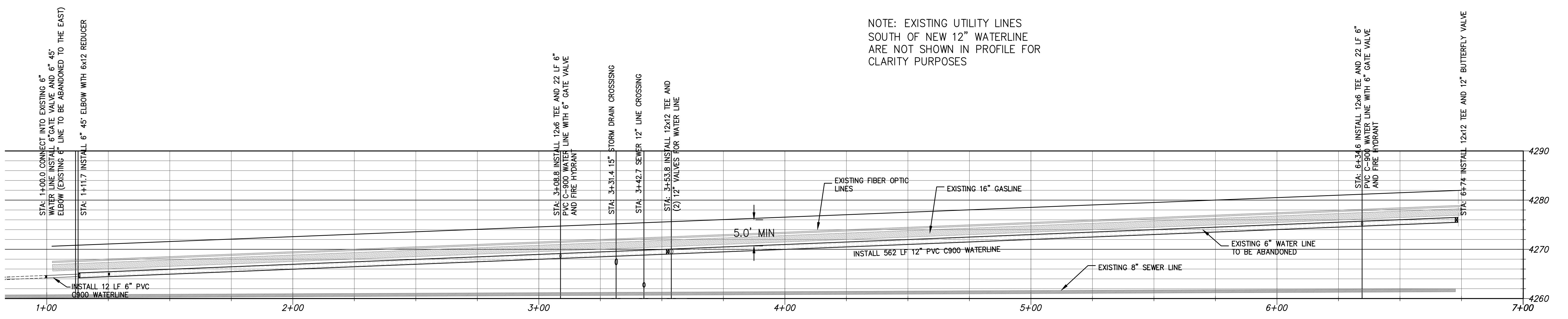




Permit Set

**THE WEST QUARTER
BLOCK C - UTILITY PLAN 200 SOUTH
260 WEST 200 SOUTH
SALT LAKE CITY, UTAH**

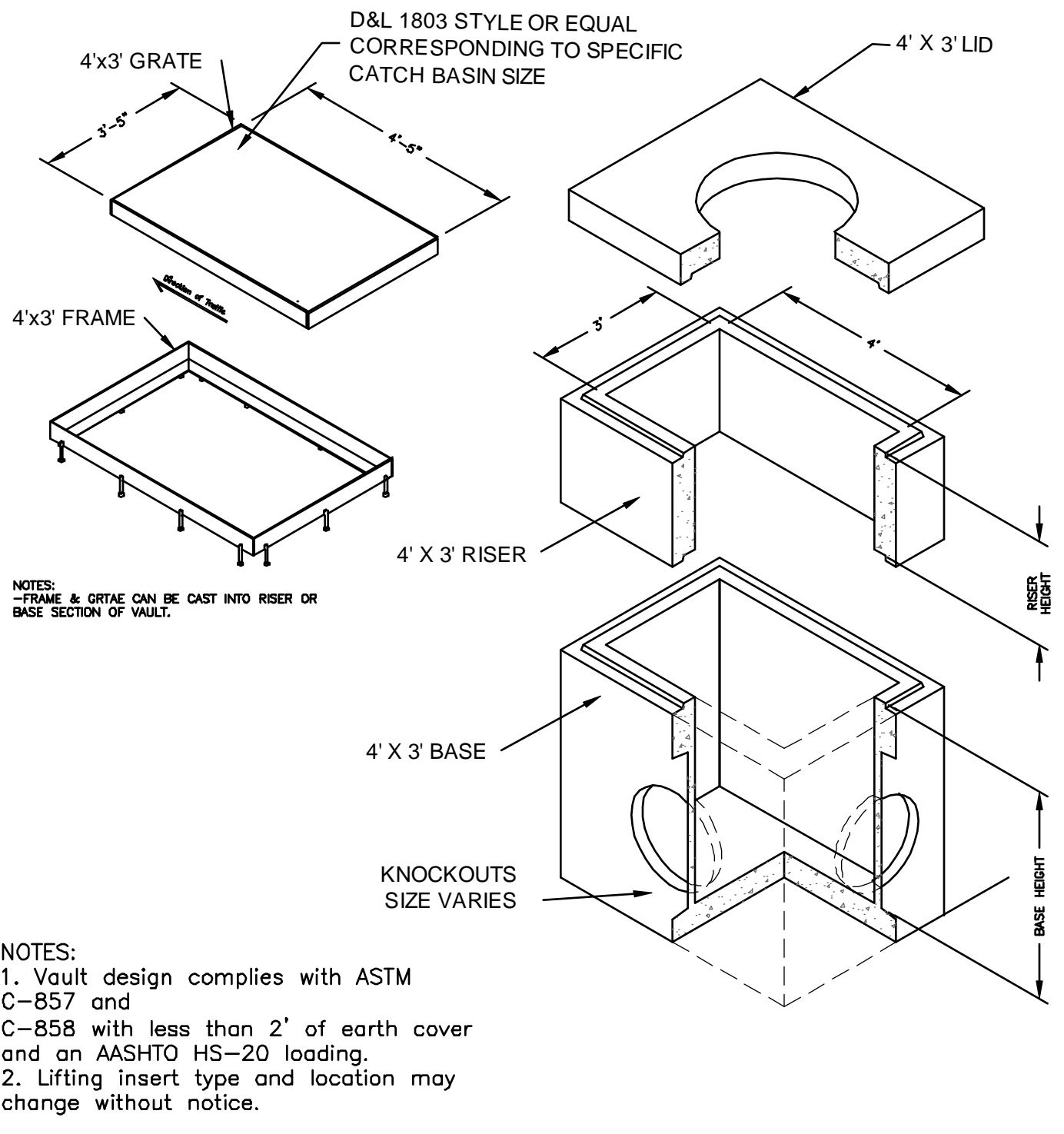
NOTE: EXISTING UTILITY LINES
SOUTH OF NEW 12" WATERLINE
ARE NOT SHOWN IN PROFILE FOR
CLARITY PURPOSES



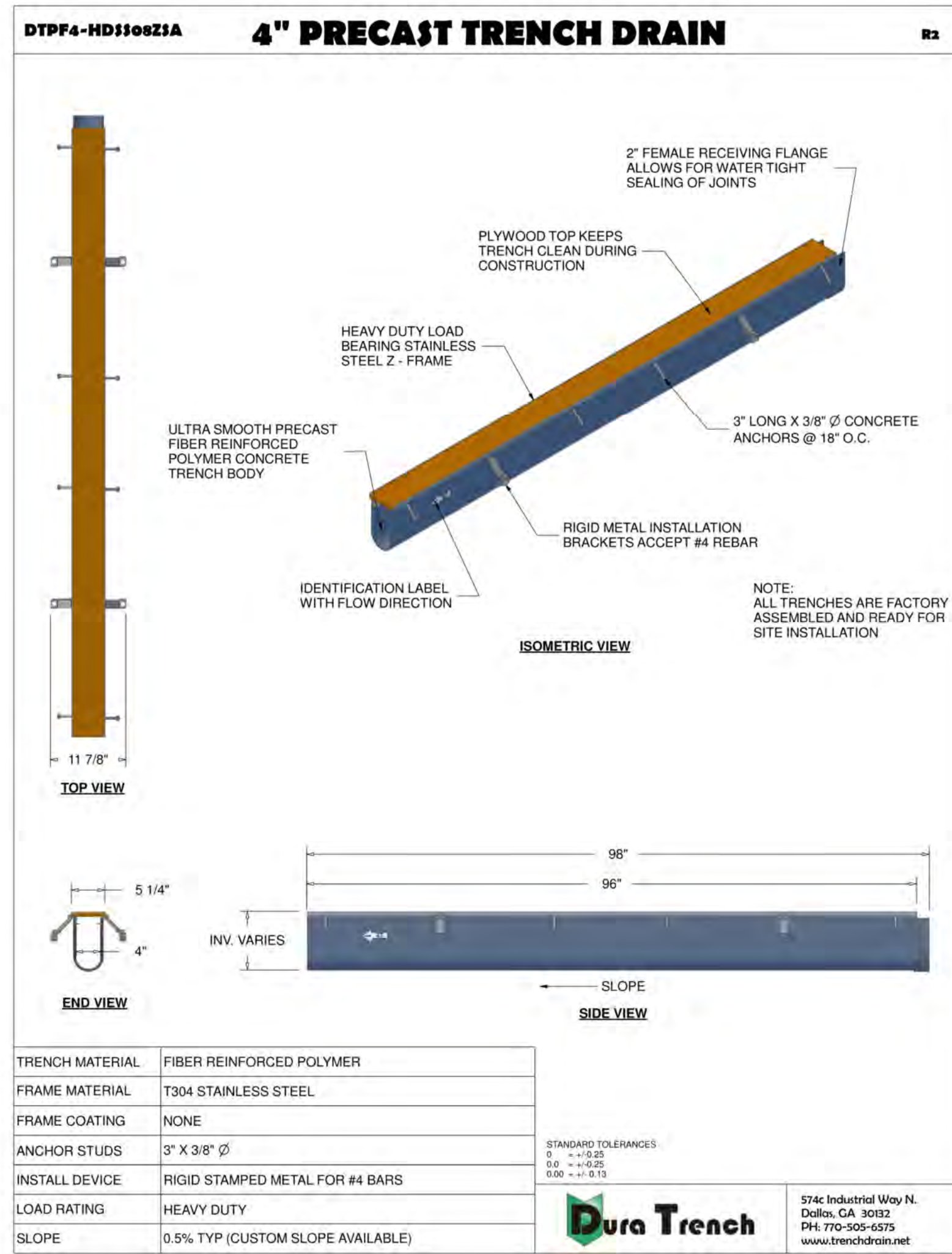
NOTE: DEPTH EXISTING DRY UTILITIES IS
ESTIMATED CONTRACTOR TO VERIFY
UNDERGROUND CONDITIONS PRIOR TO DIGGING

TWIN PEAKS
Engineering & Land Surveying
2264 NORTH 1450 EAST LEHI, UTAH 84043
(801) 450-3511

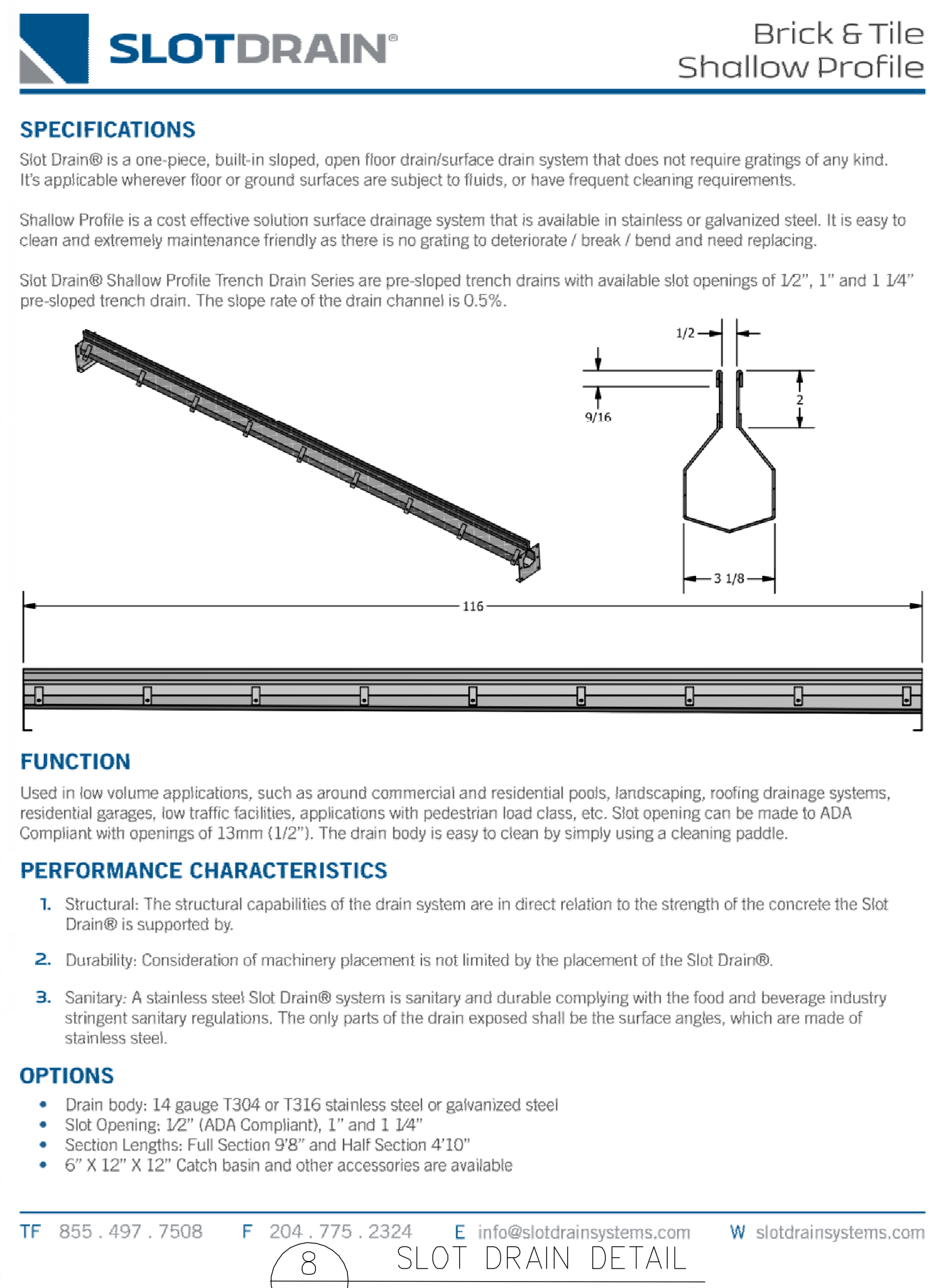
DWG DATE: JULY 2021
PLOT DATE: 02 April 2022



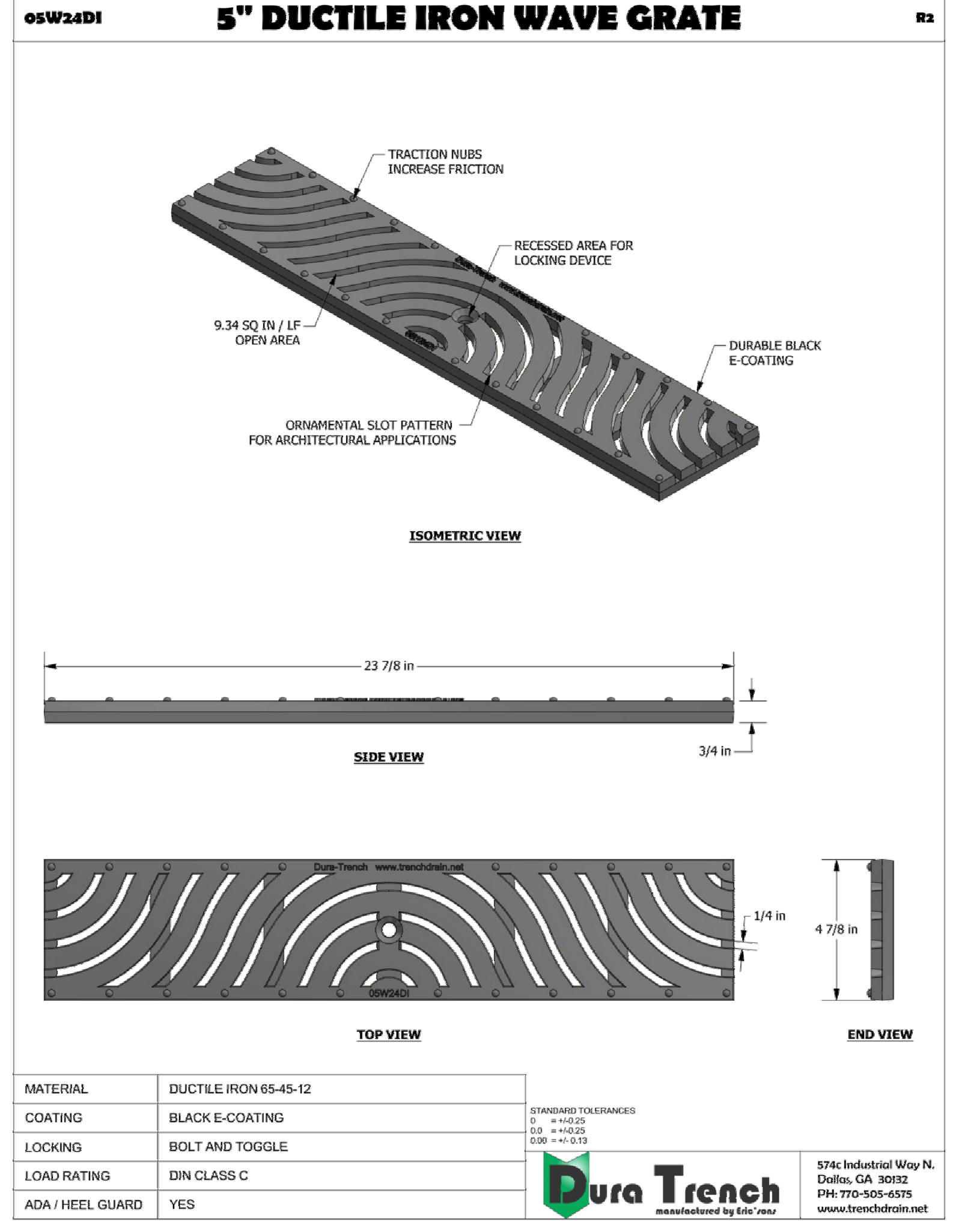
6 4x3 STORM DRAIN BOX DETAIL



11 TRENCH DRAIN DETAIL

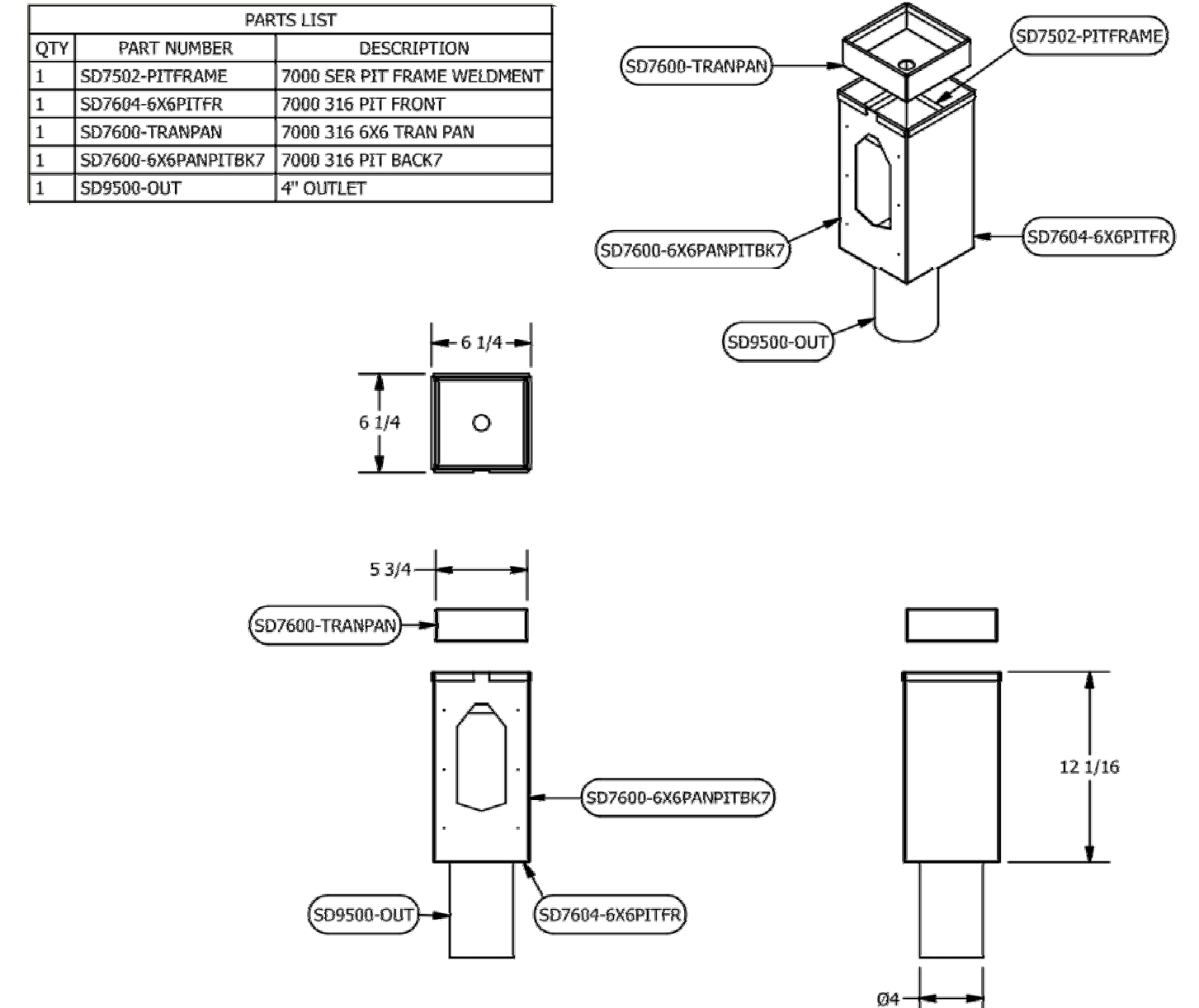
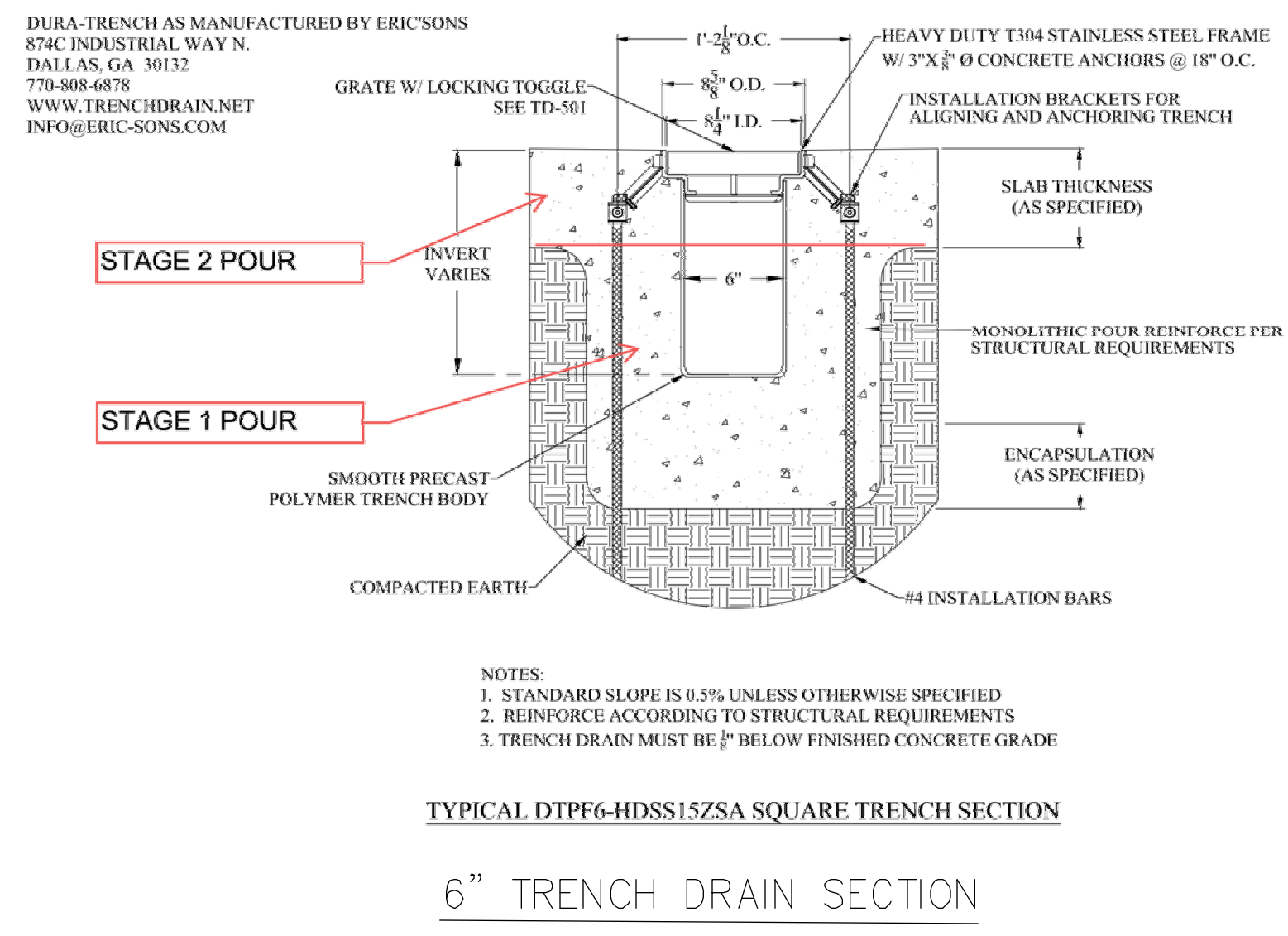
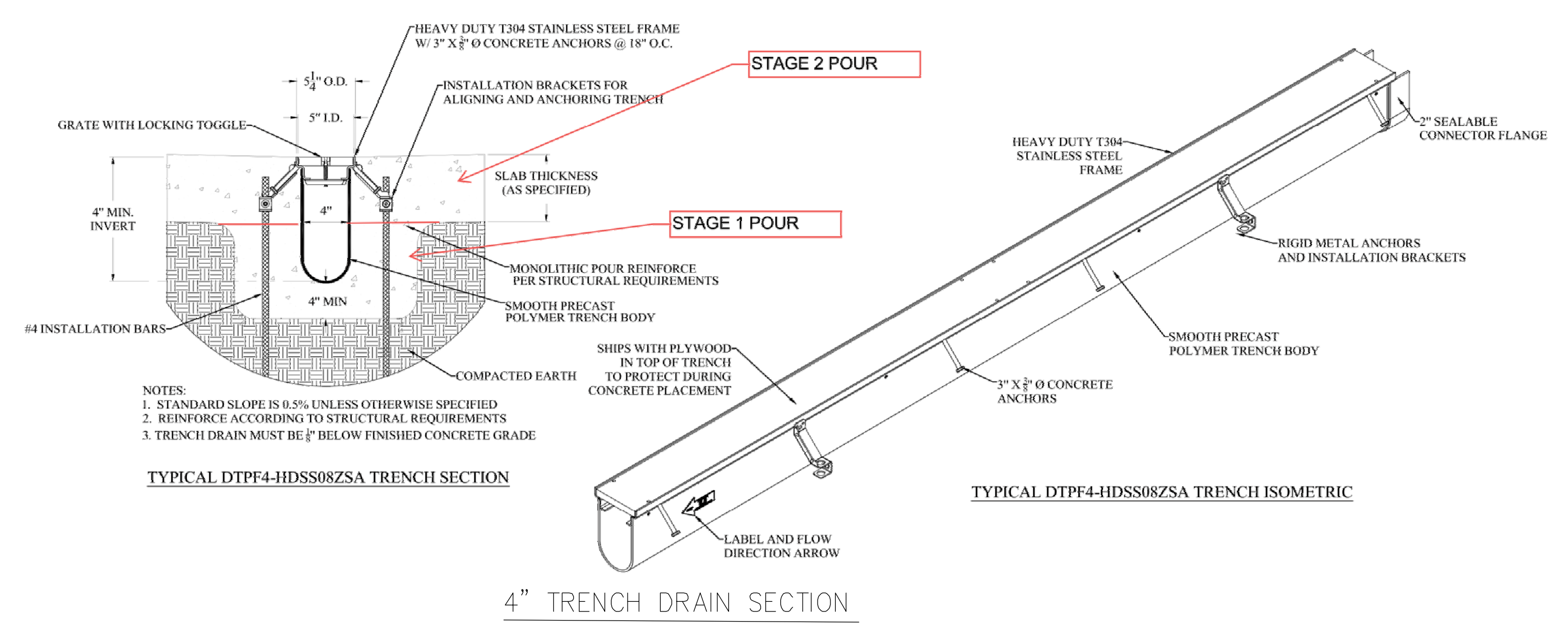


8 SLOT DRAIN DETAIL



13 TRENCH DRAIN COVER DETAIL

DURA-TRENCH AS MANUFACTURED BY ERIC'SONS
574C INDUSTRIAL WAY N.
DALLAS, GA 30132
770-505-6575
WWW.TRENCHDRAIN.NET
INFO@ERIC-SONS.COM



7000 SERIES SHALLOW PROFILE SLOT DRAIN PIT

SLOT DRAIN®

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THE WEST QUARTER
BLOCK C-DETAILS
230 WEST 200 SOUTH
SALT LAKE CITY, UTAH

TWIN PEAKS
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(801) 450-3511

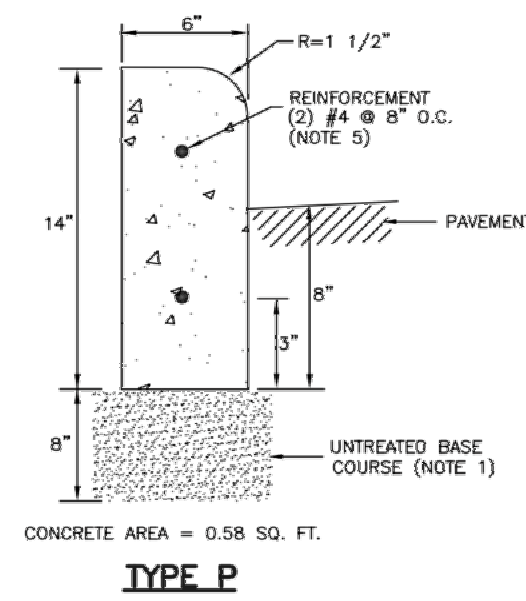
DWG DATE: JULY 2021
PLOT DATE: 08 March 2022

SHEET
C8a

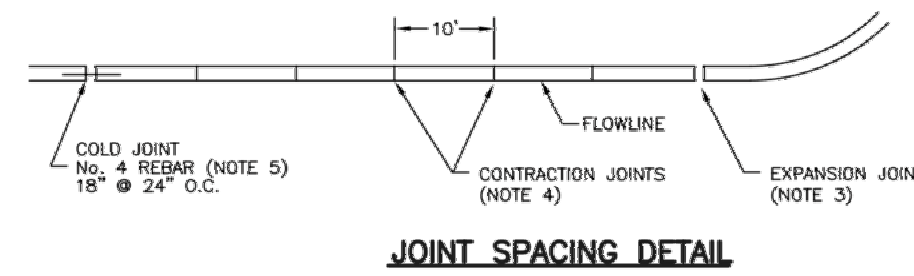
3-18-2022 FOOTING AND FOUNDATION 1 REV 1

Curbs

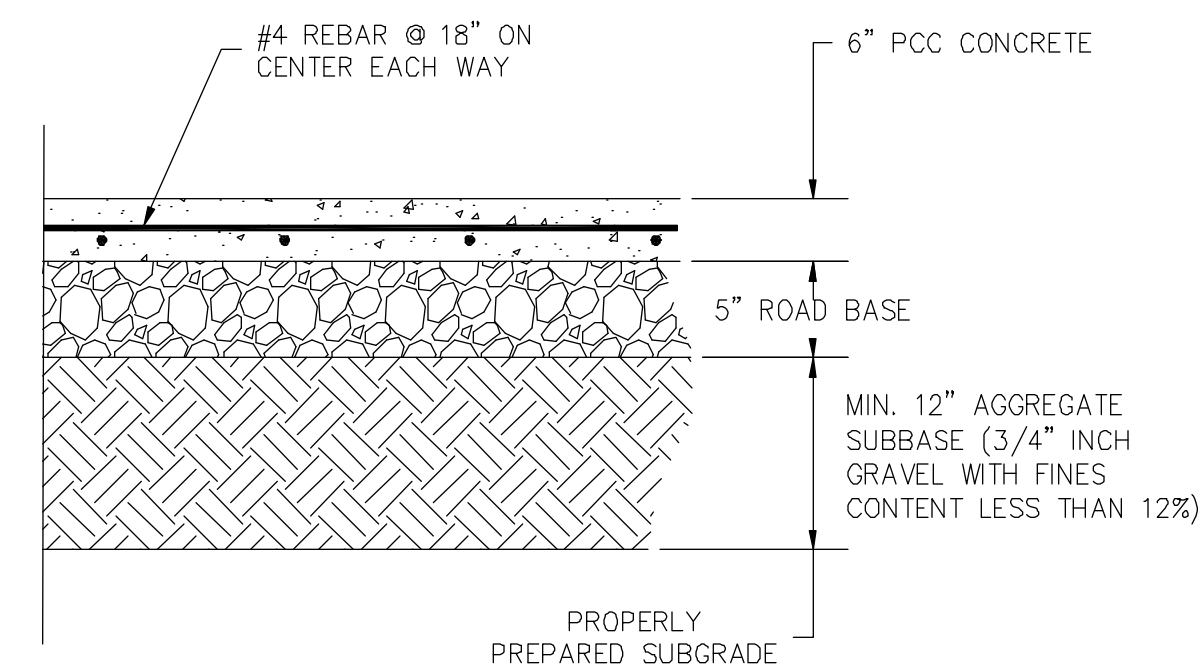
- UNTREATED BASE COURSE:** Provide material specified in APWA Section 32 11 23.
 - Do not use gravel as a substitute for untreated base course without ENGINEER'S permission.
 - Place material per APWA Section 32 05 10.
 - Compact per APWA Section 31 23 26 to a modified proctor density of 95 percent or greater. Maximum lift thickness before compaction is 8 inches when using riding compaction equipment or 6 inches when using hand held compaction equipment.
- CONCRETE:** Class 4000 per APWA Section 03 30 04.
 - If necessary, provide concrete that achieves design strength in less than 7 days. Use caution; however, as concrete crazing (spider cracks) may develop if air temperature exceeds 90 degrees F.
 - Place concrete per APWA Section 03 30 10.
 - Provide 1/2 inch radius on concrete edges exposed to public view.
 - Cure concrete per APWA Section 03 39 00 with type ID Class A or B (clear with fugitive dye) membrane forming compound unless specified otherwise.
- EXPANSION JOINT:** Make expansion joints vertical, full depth, 1/2 inch wide with type F1 joint filler material per APWA Section 32 13 73.
 - Set top of filler flush with surface of concrete.
 - Expansion joints are required at the start or end of a street intersection curb return.
 - Expansion joints are not required in curb tangents or slip form work.
- CONTRACTION JOINT:** Make contraction joints vertical.
 - 1/8 inch wide and 2 inches deep or 1/4 slab thickness if slab is greater than 8 inches thick.
 - If necessary, match location of contraction joints in adjacent concrete flatwork.
- REINFORCEMENT:** ASTM A 615, grade 60, galvanized or epoxy coated deformed steel. See APWA Section 03 20 00 requirements.
- FINISH:** Broomed.



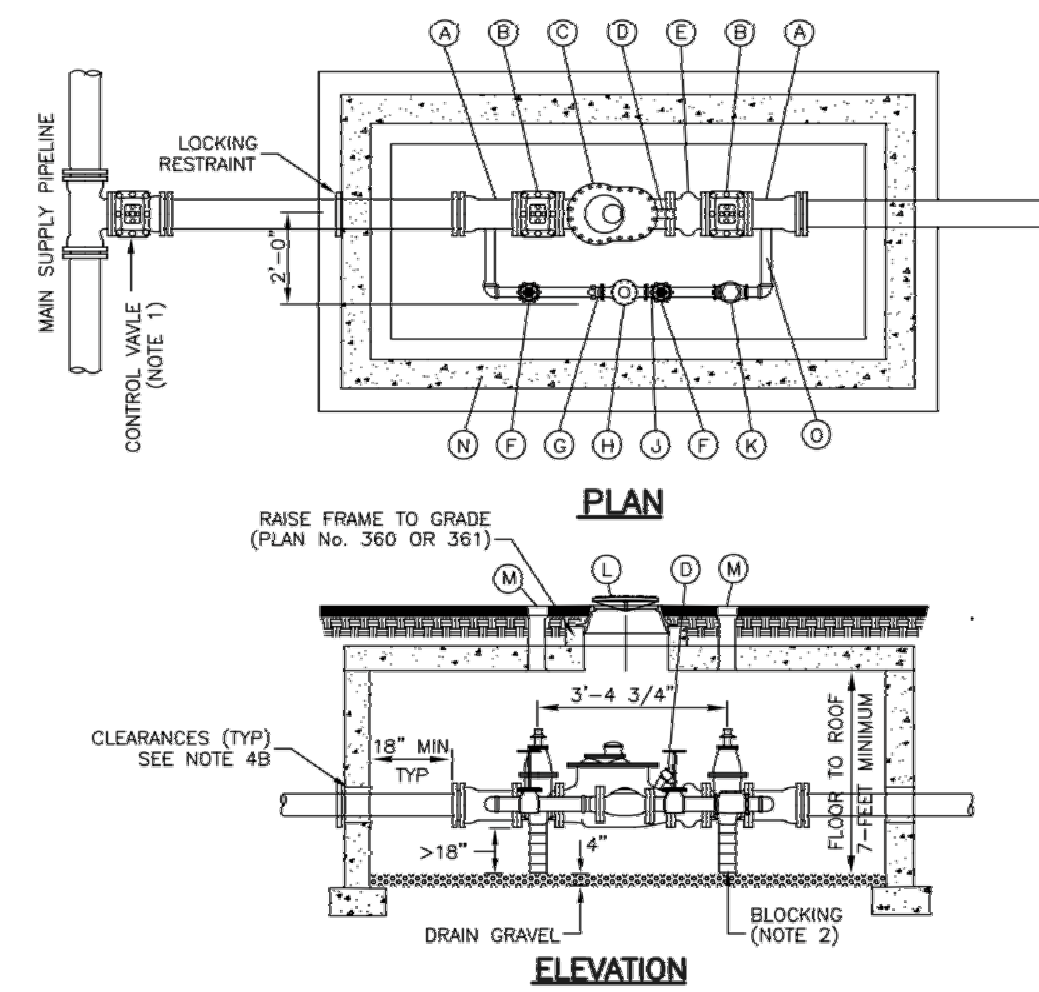
TYPE P



JOINT SPACING DETAIL



2 CONCRETE PAVEMENT SECTION
N.T.S.



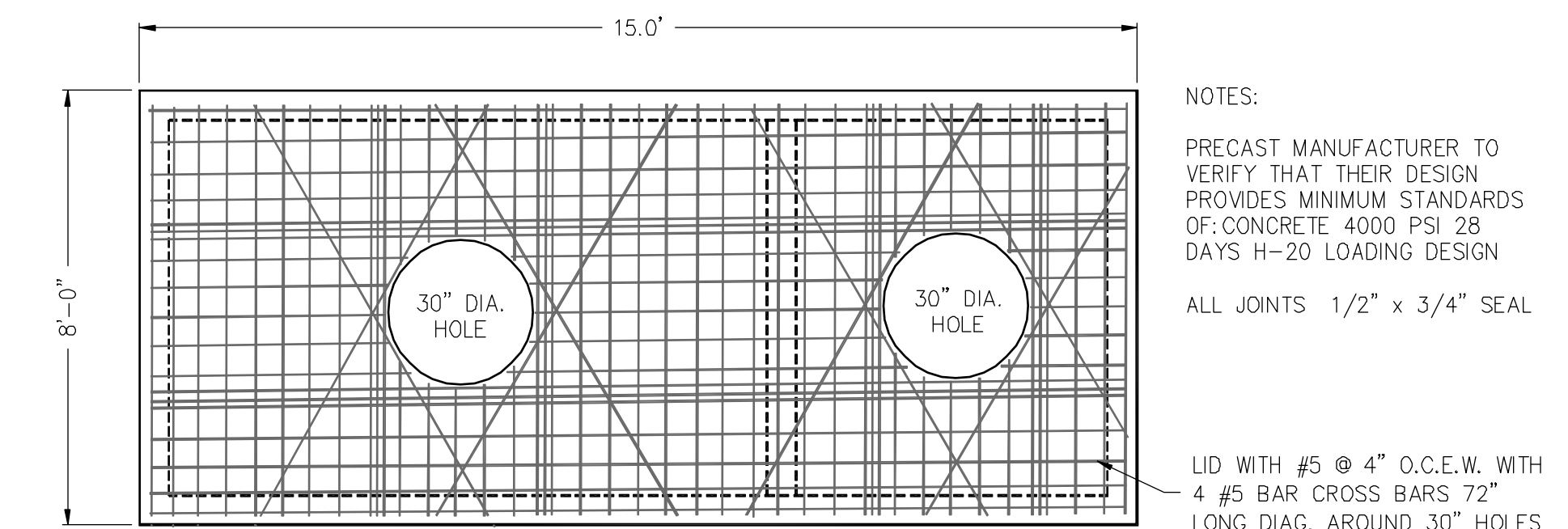
No.	ITEM	DESCRIPTION
(A)	3" OR 4" FLANGE X MJL ADAPTER	
(B)	3" OR 4" GATE VALVE WITH 2"x2" OPERATING NUT	
(C)	3" OR 4" COMPOUND METER	
(D)	2" TEST ASSEMBLY	
(E)	3" OR 4" CHECK VALVE	
(F)	2" GATE VALVE	
(G)	2" METER FLANGE	
(H)	2" DISPLACEMENT METER	
(I)	2" MALE METER FLANGE	
(J)	2" CHECK VALVE	
(K)	2" FRAME AND COVER	PLAN No. 502
(L)	TOP SECTION OF VALVE BOX WITH LID	PLAN No. 574
(M)	CONCRETE BOX	PLAN No. 505
(N)	COPPER PIPING	

* FURNISHED BY AGENCY

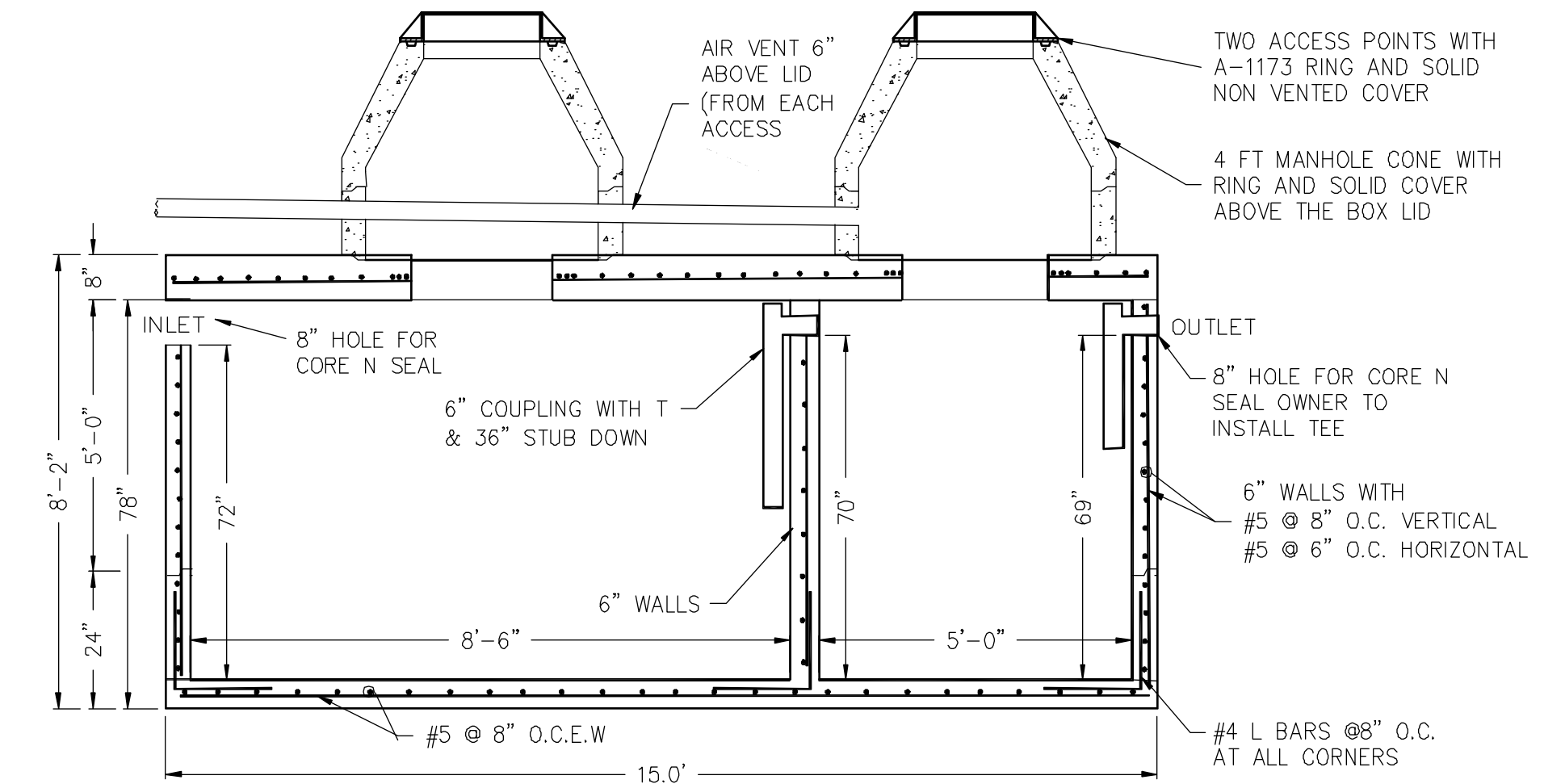
3" and 4" Compound meter with 2" bypass

- CONTROL VALVE:** Install valve with valve box adjacent to main.
- BLOCKING:** Clay brick or concrete block.
- SMALL FITTINGS:** Provide brass fittings and nipples. Do not use galvanized materials.
- CONCRETE BOX:** Plan No. 505.
 - Center frame and cover over water meter.
 - Allow 1 inch clearance around waterline where line passes through wall. Seal opening with compressible seal.

3 APWA 523 3" AND 4" COMPOUND METER

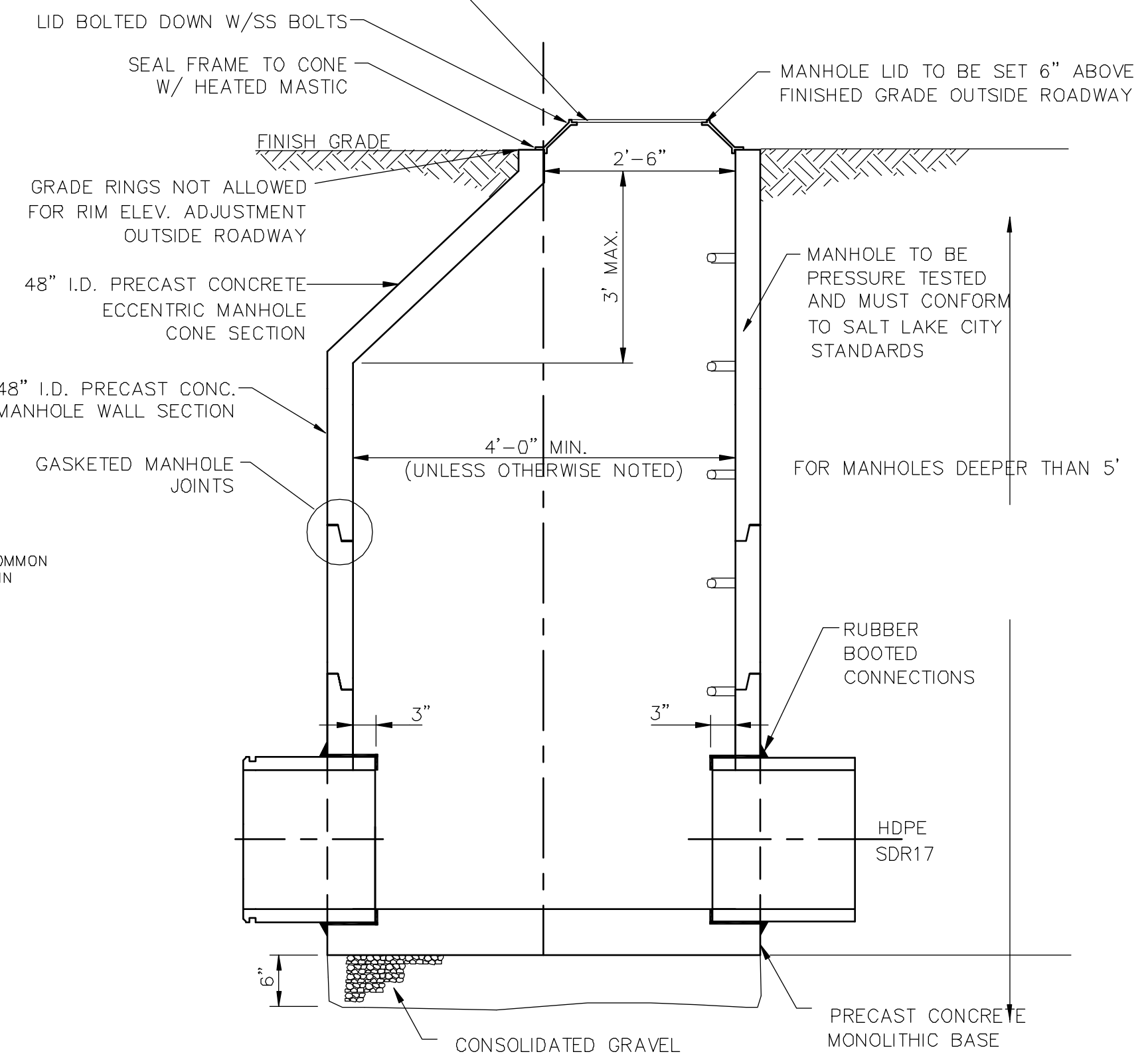


- NOTES:
- PRECAST MANUFACTURER TO VERIFY THAT THEIR DESIGN PROVIDES MINIMUM STANDARDS OF CONCRETE 4000 PSI 28 DAYS H-20 LOADING DESIGN
 - ALL JOINTS 1/2" x 3/4" SEAL
 - LID WITH #5 @ 4" O.C.E.W. WITH 4 #5 BAR CROSS BARS 72" LONG DIAG. AROUND 30" HOLES



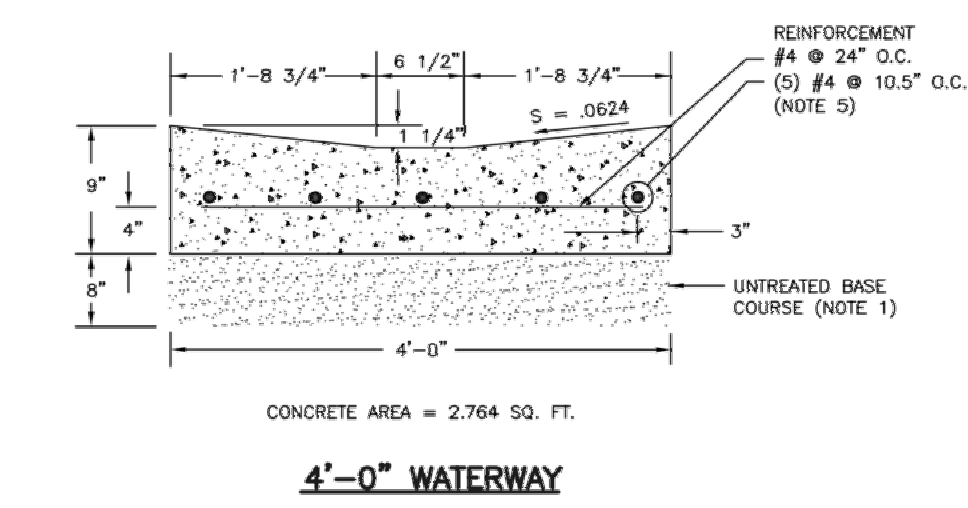
4 4000 GAL GREASE TRAP
7'x14'x7' ID

- NOTE:
- TEMPORARY GRADING TO SLOPE AWAY FROM MANHOLE AT 3H:1V TO EXISTING GRADE
 - MANHOLE CASTING TO BE SET FLUSH WITH FINISHED GRADE WHERE IN SHOULDER.
 - CONCRETE COLLAR REQUIRED IN PAVED AREAS (6" THICK, 12" WIDE) LID TO BE 1/4" BELOW FINISHED GRADE



12 TYPICAL SEWER MANHOLE DETAIL

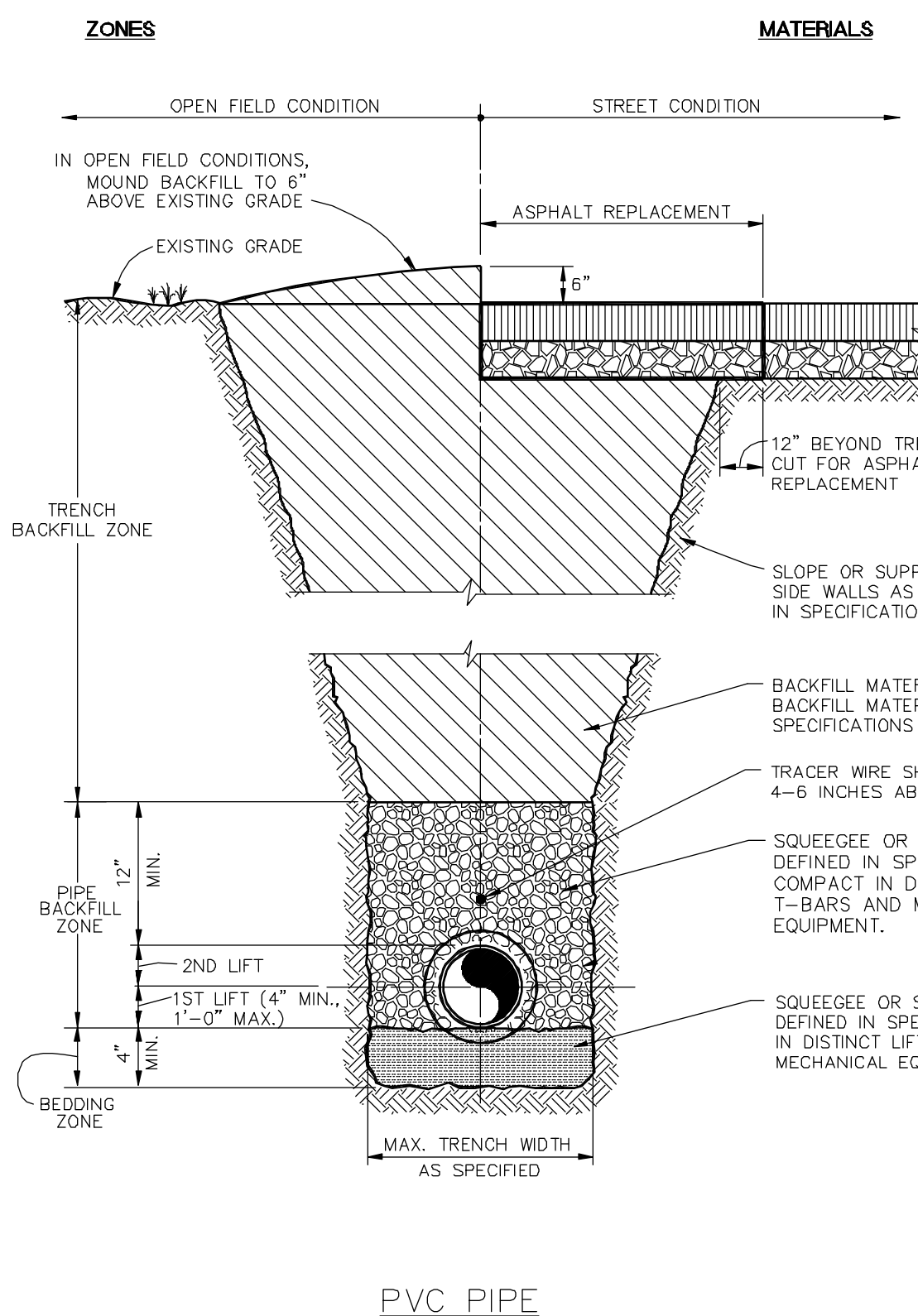
5 APWA 209 CURB TYPE P



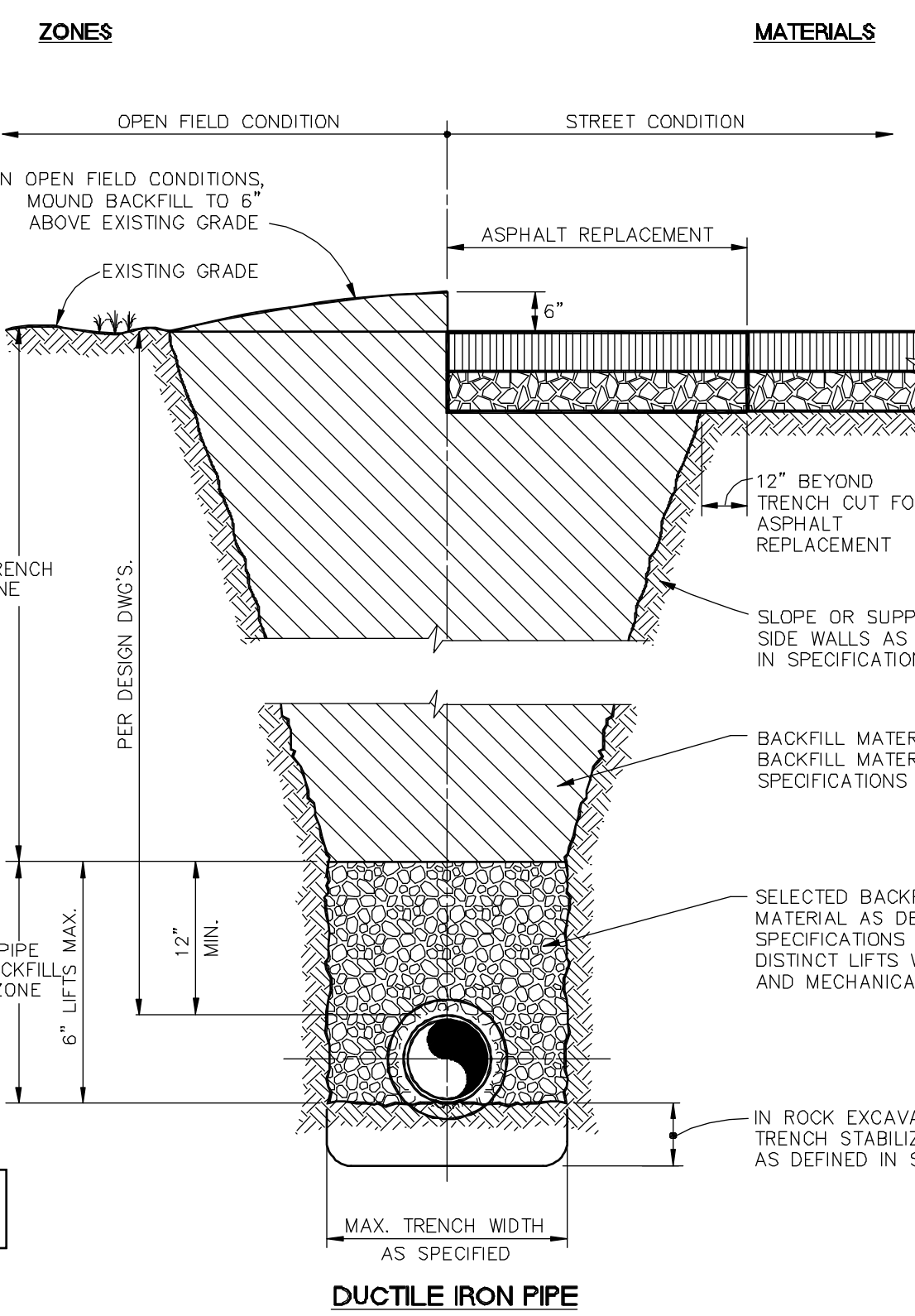
4'-0" WATERWAY

Waterway

- UNTREATED BASE COURSE:** Provide material specified in APWA Section 32 11 23.
 - Do not use gravel as a substitute for untreated base course without ENGINEER'S permission.
 - Place material per APWA Section 32 05 10.
 - Compact per APWA Section 31 23 26 to a modified proctor density of 95 percent or greater. Maximum lift thickness before compaction is 8 inches when using riding compaction equipment or 6 inches when using hand held compaction equipment.
- CONCRETE:** Class 4000 per APWA Section 03 30 04.
 - If necessary, provide concrete that achieves design strength in less than 7 days. Use caution; however, as concrete crazing (spider cracks) may develop if air temperature exceeds 90 degrees F.
 - Place concrete per APWA Section 03 30 10.
 - Provide 1/2 inch radius on concrete edges exposed to public view.
 - Cure concrete per APWA Section 03 39 00 with type ID Class A or B (clear with fugitive dye) membrane forming compound unless specified otherwise.
- EXPANSION JOINT:** Make expansion joints vertical, full depth, 1/2 inch wide with type F1 joint filler material per APWA Section 32 13 73. Set top of filler flush with surface of concrete.
- CONTRACTION JOINT:** Make contraction joints vertical, at least 1/8 inch wide and 2 inches deep or 1/4 slab thickness if slab is greater than 8 inches thick.
- REINFORCEMENT:** ASTM A 615, grade 60, galvanized or epoxy coated deformed steel. See APWA Section 03 20 00 requirements.
- FINISH:** Broomed.
- PROTECTION AND REPAIR:**
 - Fill flow-line with water. Repair construction that doesn't drain.
 - Protect concrete from deicing chemicals during cure.



PVC PIPE

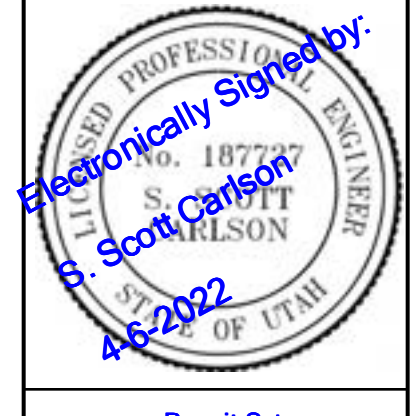


DUCTILE IRON PIPE

REFER TO SPECIFICATIONS FOR MATERIAL, INSTALLATION, DENSITY, AND SURFACE RESTORATION REQUIREMENTS.

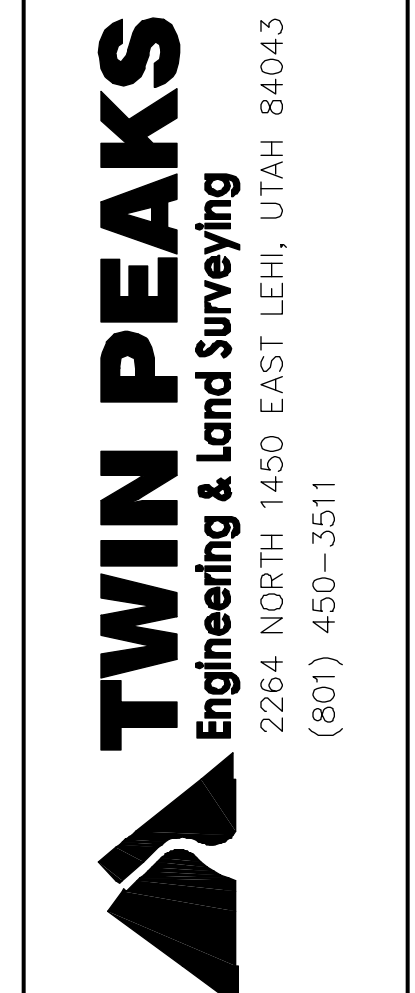
10 TYPICAL TRENCH DETAIL

9 APWA 211 4' WATERWAY



Permit Set

**THE WEST QUARTER
BLOCK C - DETAILS
260 WEST 200 SOUTH
SALT LAKE CITY, UTAH**



DWG DATE: JULY 2021
PLOT DATE: 06 April 2022

SHEET
C8b

ISSUE	DATE	DESCRIPTION	REVISION

REVISION	DATE	DESCRIPTION	BY

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DATE: 11/15/2023

**SITE LAYOUT
PLAN -
(LEVEL 1)**

100% CONSTRUCTION DOCS

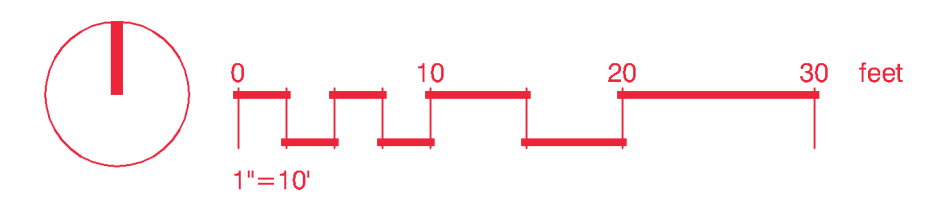
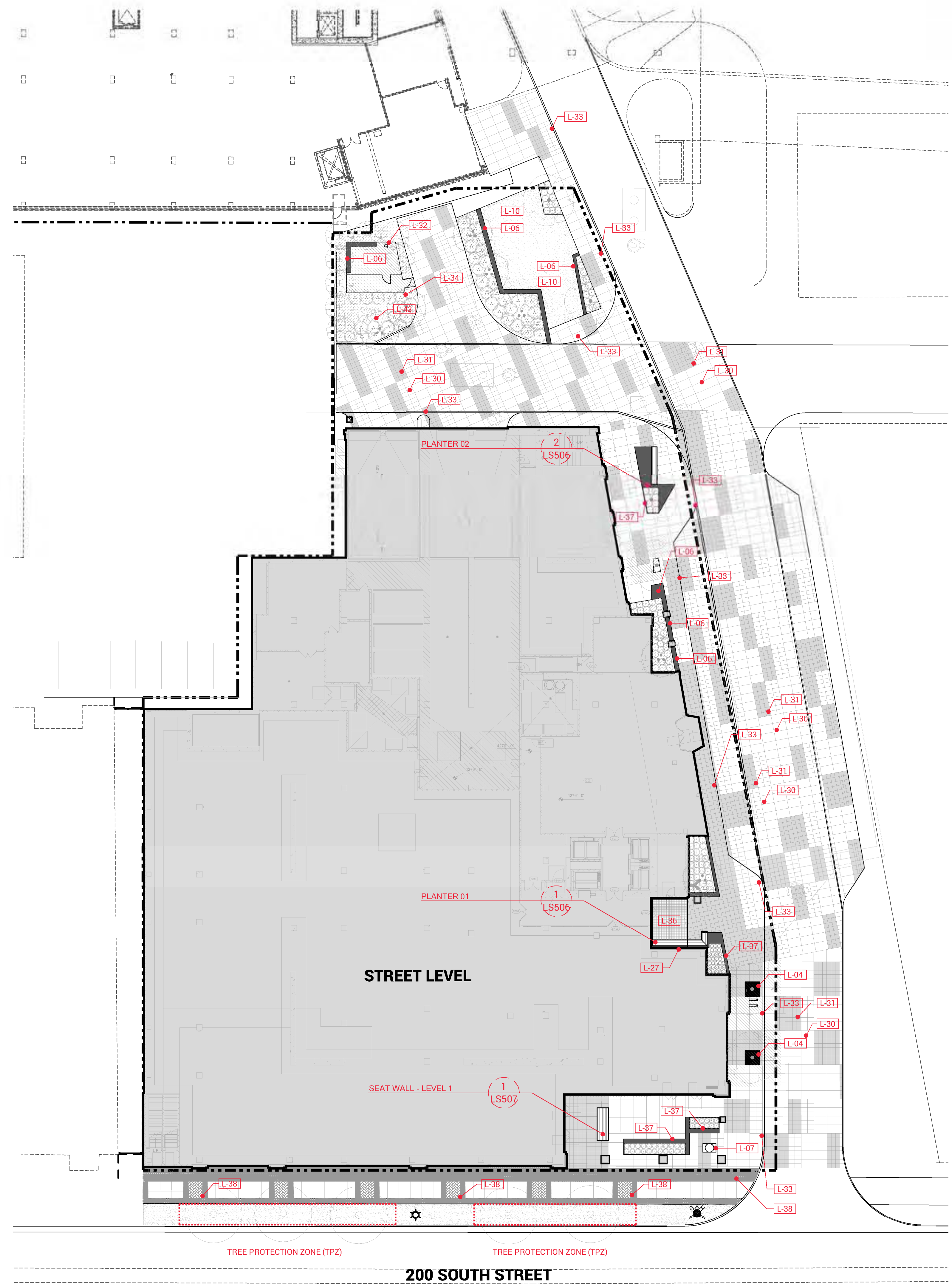
JOB NUMBER:

DRAWN BY: NKJ
CHECKED BY: BAR

LS101

REFERENCE NOTES SCHEDULE

SYMBOL	SITE LAYOUT DESCRIPTION	QTY	DETAIL
L-04	TREE GRATE TO MATCH PHASE 1	3/L	S503
L-06	18" W X 18" H X L VARIES - CONCRETE BOARDFORM WALL PLAIN GREY FINISH WITH SMOOTH TROWEL FINISH TOP	5/L	S503
L-07	ENTRY SCULPTURE - MODEL: GRAVITY - SIZE: 80" H X 28" DIA. - COLOR: RED - PER TERRASCULPTURE OR APPROVED EQUAL		
L-10	SYNTHETIC TURF	2/L	S503
L-27	FAUX GREEN WALL FROM TOP OF BENCH TO TOP OF CEILING (APPROXIMATELY 20' HIGH) - EASYIVY AGAVE PANELS ATTACHED TO BUILDING WALL - PER EASY GRASS OR APPROVED EQUAL - INSTALLATION PER MANUFACTURERS SPECIFICATIONS		
L-30	PLAZA CONCRETE (REINFORCED) INCRETE SYSTEMS, COLOR: SOFT GRAY, BROOM FINISH BEVELED SAWCUT JOINT - (TO MATCH PHASE 1-A)	4/L	S503
L-31	ACCENT CONCRETE (REINFORCED) INCRETE SYSTEMS, COLOR: CHARCOAL, BROOM FINISH BEVELED SAWCUT JOINT - TO MATCH PHASE 1-A	4/L	S503
L-32	DOG WASTE RECEPTACLE - PER LUCKY DOG		
L-33	LIGHTED BOLLARD, 5" DIA, FIXED, FORMS AND SURFACES 500 SERIES LIGHT COLUMN WITH 360 SHIELD (PERFORATION), BRONZE RAL#6014 FINISH, 3000K LAMP, SURFACE MOUNT WITH J BOLTS - (TO MATCH PHASE 1-A)		
L-34	BLACK METAL OPEN RAIL - 4' HIGH DOG FENCE	5/L	S502
L-36	EXTERIOR SNOW GRATE SYSTEM - MANUFACTURER: ENZAR, TYPE: WELDED STAINLESS STEEL, NUMBER: 11-W-2, BEARING BARS: 11/16", CROSS BARS: 2", COLOR: PAINTED DARK GRAY, SURFACE: PLAIN, ADDITIONAL NOTES: ADA INSTALLED SD BAR SPANS PERPENDICULAR TO THE NORMAL FLOW OF TRAFFIC AND CLIPS ADDED PER MANUFACTURER TO HOLD GRATES TOGETHER	1/L	S503
L-37	RAISED CONCRETE PLANTER WITH STEEL PANEL - TO MATCH PHASE 1	7/L	S503
L-38	BRICK PAVER BANDING - PER CITY REQUIREMENT - SAND SET TOSCANA CONCRETE UNIT PAVERS BY BELGARD OR APPROVED EQUAL - PATTERN PER PLAN	6/L	S503
L-43	FUTURE TRANSFORMER LOCATION		





ISSUE	DATE	DESCRIPTION	BY

REVISION	DATE	DESCRIPTION	BY

NO.	DATE	DESCRIPTION	BY

DATE	DESCRIPTION	BY

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PLANTING PLAN - (LEVEL 1)

100% CONSTRUCTION DOCS

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CHECKED BY: BAR

LP101

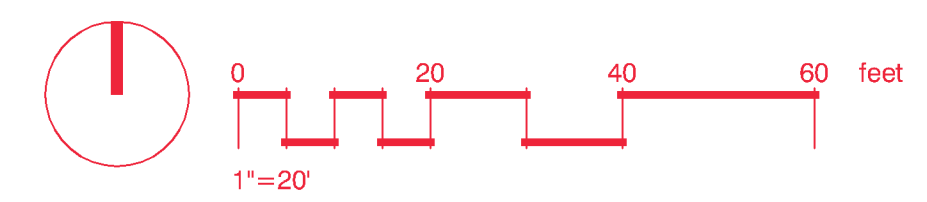
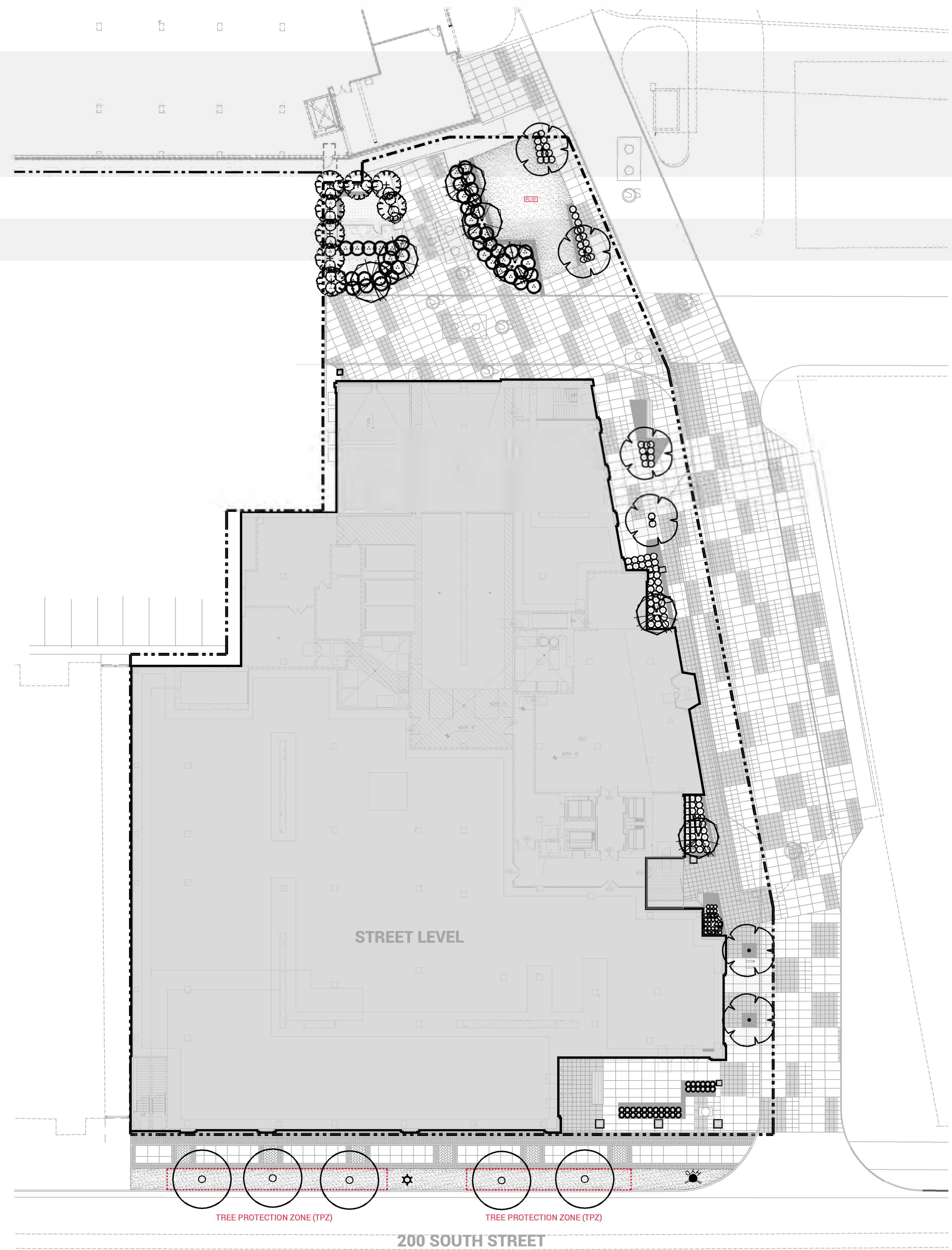
PLANT SCHEDULE

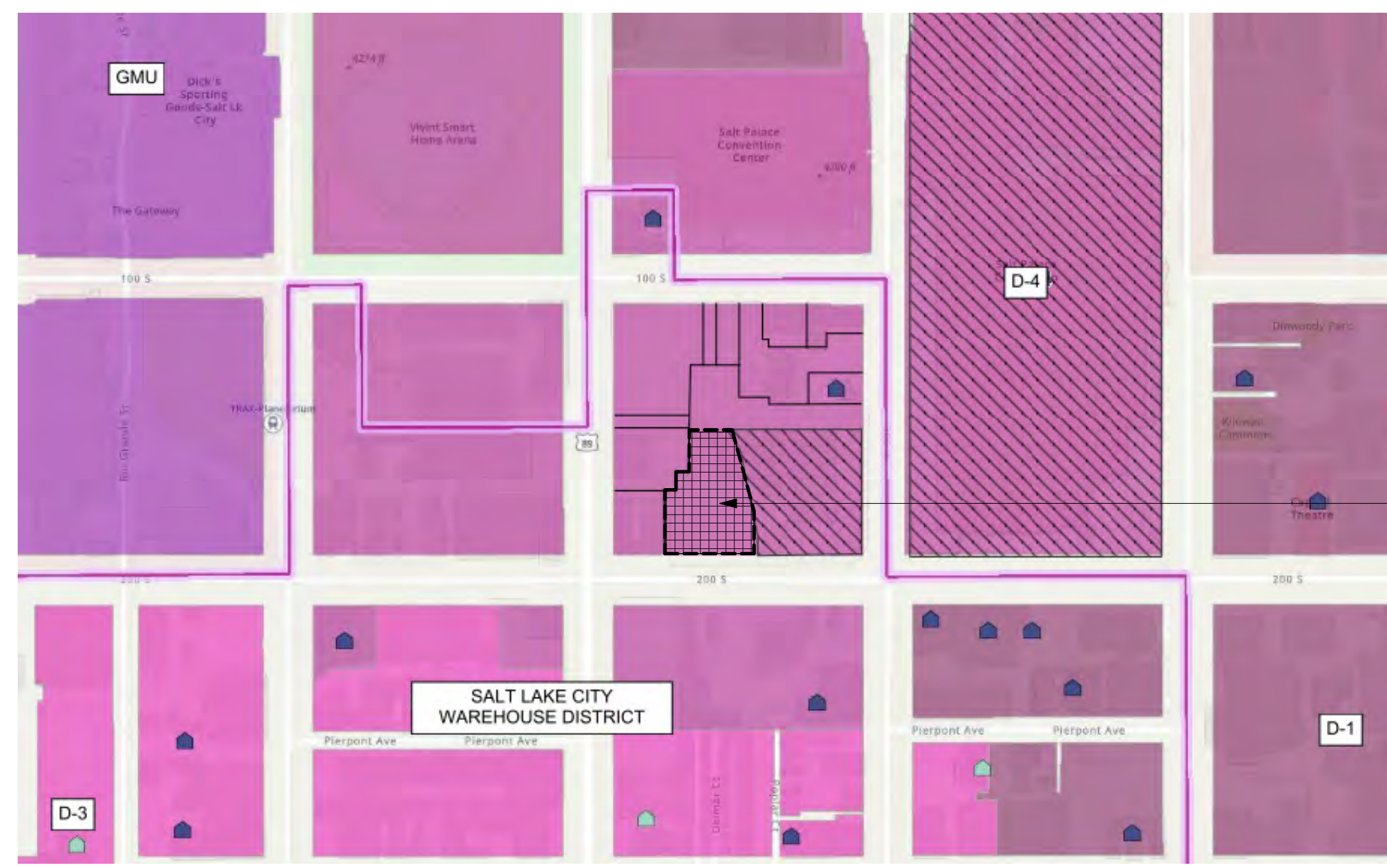
DECIDUOUS TREES	BOTANICAL / COMMON NAME	SIZE	CONT.	HZONE	QTY
	AMELANCHIER X GRANDIFLORA 'AUTUMN BRILLIANCE' / 'AUTUMN BRILLIANCE' SERVICEBERRY -MULTI-STEM BRANCHES TO BE PRUNED TO 3' HEIGHT	3" CAL.	B&B	TD4	7
	QUERCUS ROBUR X ALBA 'JFS-KW2QX' TM / SKINNY GENES OAK	2" CAL.	B&B	TD4	8
	ULMUS X 'FRONTIER' / FRONTIER ELM	3" CAL.	B&B	TD3	6
STREET TREES	BOTANICAL / COMMON NAME	SIZE	CONT.	HZONE	QTY
	EXISTING TREES	EXISTING	N/A		5
SHRUBS	BOTANICAL / COMMON NAME	SIZE	HZONE		
	RHUS AROMATICA 'GRO-LOW' / GRO-LOW FRAGRANT SUMAC -TRIM TO FORM DENSE GROUNDCOVER	5 GAL.	SD1		44
	RHUS TYPHINA 'BAILTIGER' TM / TIGER EYES STAGHORN SUMAC -TRIM LOWER BRANCHES TO GIVE A TREE-LIKE APPEARANCE	10 GAL.	SD2		1
	ROSA X 'BLANC DOBLE DE COUBERT' / FRAGRANT WHITE RUGOSA SHRUB ROSE	5 GAL.	SD2		19
ORNAMENTAL GRASSES	BOTANICAL / COMMON NAME	SIZE	HZONE		
	CAREX MUSKINGUMENSIS 'ICE FOUNTAINS' / ICE FOUNTAINS PALM SEDGE	5 GAL.	TW2		28
	FESTUCA MAIREI / ATLAS FESCUE	5 GAL.	TW2		102
	MISCANTHUS SINENSIS 'YAKU JIMA' / YAKU JIMA EULALIA GRASS	5 GAL.	TW2		34
GROUND COVERS	BOTANICAL / COMMON NAME	CONT.	HZONE	SPACING	
	TURF SOD	SOD			2,522 SF
ROCK MULCH	BOTANICAL / COMMON NAME	CONT.	HZONE	SPACING	
	1-2" GREY COBBLE	ROCK MULCH	N/A		40 SF
	1" WASATCH GRAY LANDSCAPE ROCK	ROCK MULCH	N/A		1,800 SF
SOIL	BOTANICAL / COMMON NAME	CONT.	HZONE	SPACING	
	STRUCTURAL SOIL - SEE DETAILS FOR STRUCTURAL SOIL SPECIFICATION.	N/A	N/A		1,037 SF
SYNTHETIC TURF	BOTANICAL / COMMON NAME	CONT.	HZONE	SPACING	
	SYNTHETIC TURF PET TURF COLLECTION - SWG PET TURF (GB-085) - PER SOUTHWEST GREEN - CONTACT DEREK SPENCER 801-808-4270	N/A	N/A		315 SF

SUMMARY DATA

PARK STRIP LANDSCAPING:
200 SOUTH:
STREET TREES 7 REQUIRED / 5 PROVIDED

PLEASE NOTE: TREE REMOVAL OR TREE PLANTING IN

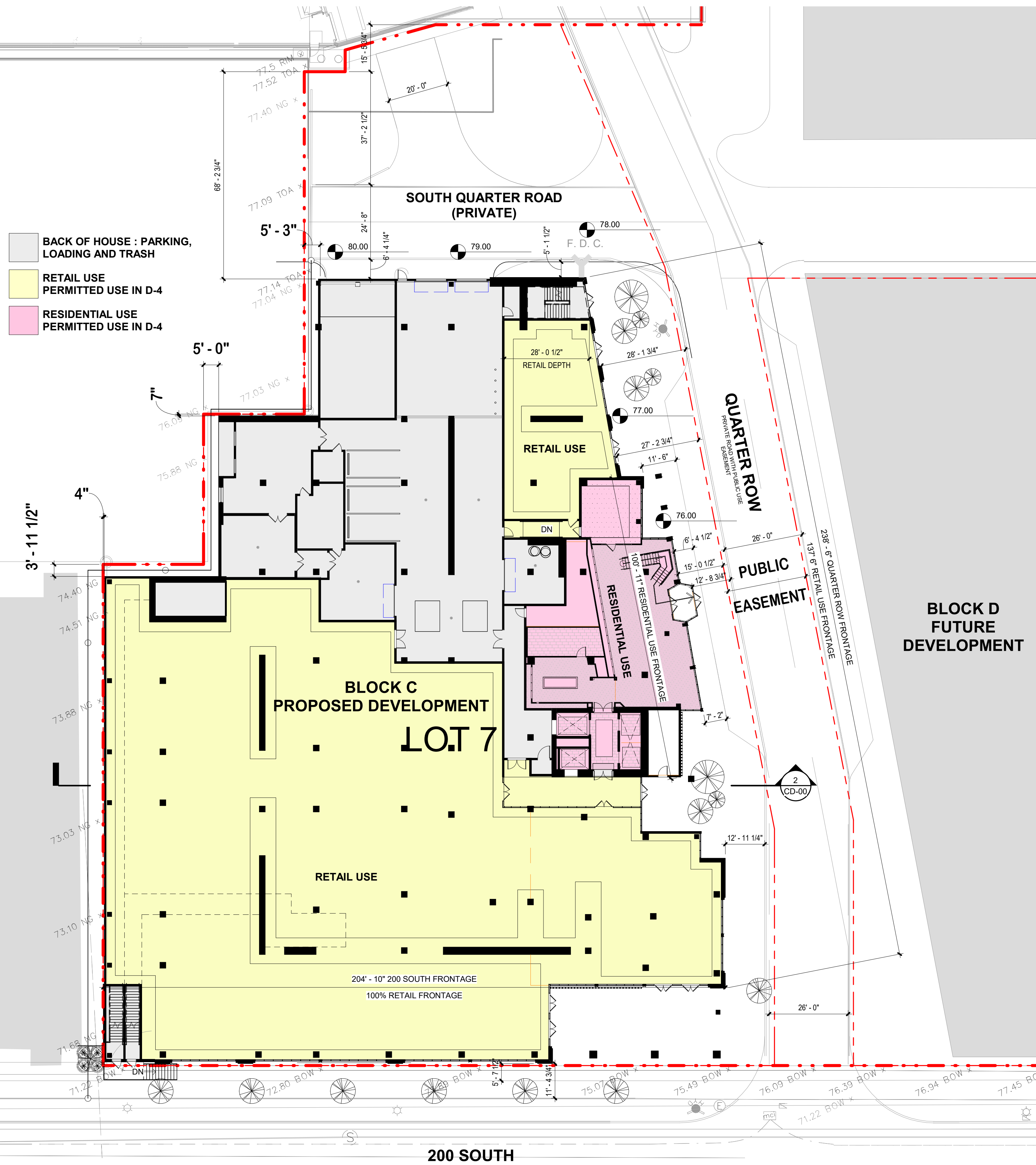




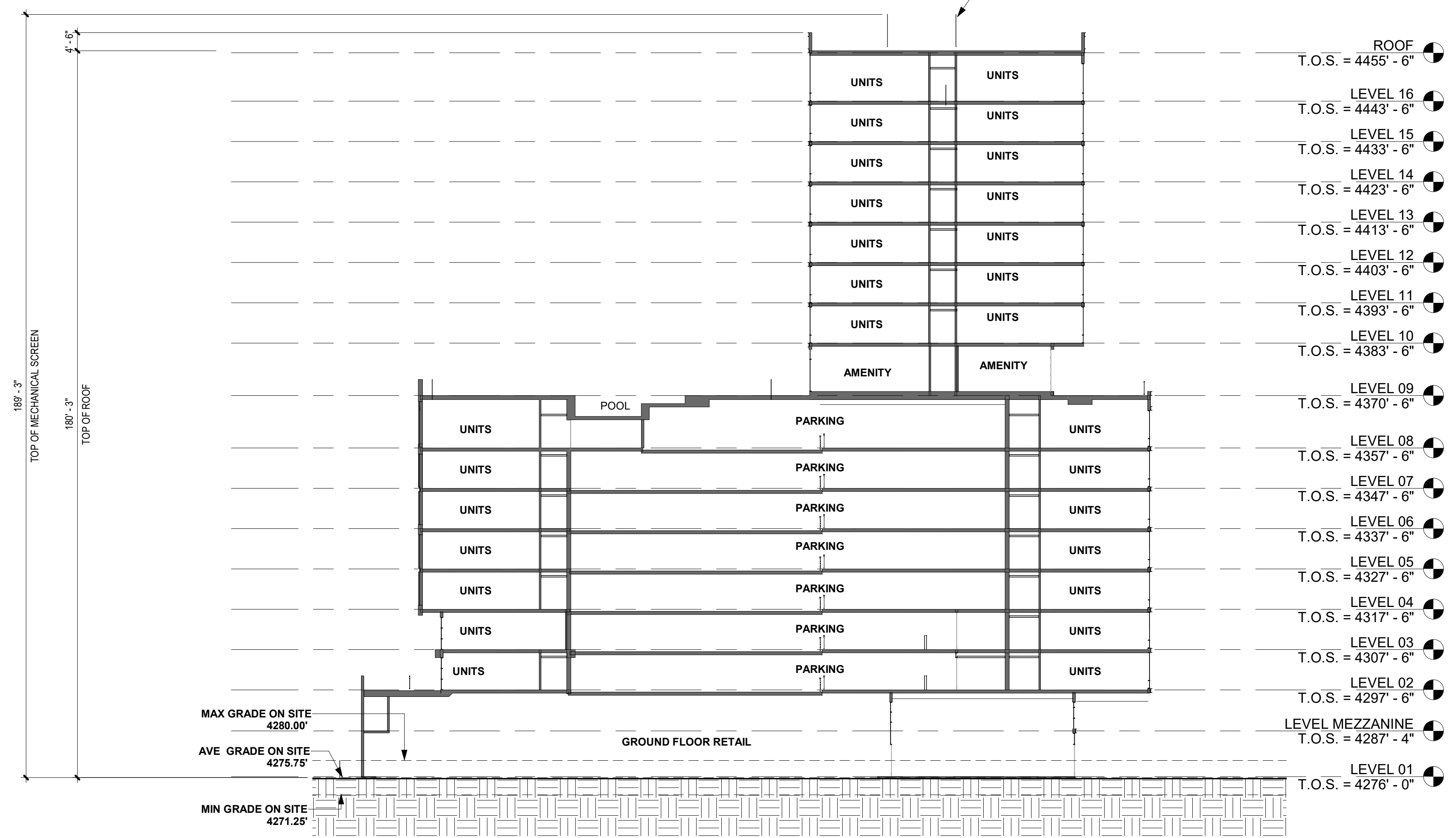
ADDITIONAL HEIGHT OVERLAY - 21A.30.045.C.7.a (2)

SITE

ZONING MAP
12" = 1'-0"



1 LEVEL 01 - ZONING SITE PLAN
1" = 20'-0"



2 EAST / WEST ZONING SECTION
1" = 20'-0"

SALT LAKE CITY ZONING ORDINANCE REQUIREMENTS				
DESCRIPTION	REFERENCE SECTION	REQUIRED BY ORDINANCE	PROVIDED	COMPLIANCE
ZONING DISTRICT	21A.30.045	D-4 - DOWNTOWN SECONDARY CBD		
SIZE OF PARCEL			1.46 Acres	
BUILDING HEIGHT	21A.30.045 C.7.b 21.30.045 C.9.b	MAXIMUM HEIGHT 375' (WITH MID-BLOCK CONNECTION AND SUBJECT TO DRT APPROVAL)	184'-3"	COMPLIES
USE (PERMITTED & CONDITIONAL)				
MULTI-FAMILY RESIDENTIAL	21A.30.050	PERMITTED; NO SQFT LIMITATION		COMPLIES
RETAIL GOODS	21A.30.050	PERMITTED; NO SQFT LIMITATION		COMPLIES
RETAIL SERVICES	21A.30.050	PERMITTED; NO SQFT LIMITATION		COMPLIES
YARD REQUIREMENTS				
FRONT & CORNER SIDE YARDS [200 SOUTH]	21A.30.045-C.2.a	NO MINIMUM REQ ; MAX 5'	1'-0"	COMPLIES
INTERIOR SIDE YARDS	21A.30.045-C.2.b	NOT REQUIRED	Varies	COMPLIES
SERVICE AREA	21A.30.045-C.5	SERVICE AREA LOCATION LOCATED INTERIOR TO BLOCK		
LOADING DOCKS REQUIRED				
LANDSCAPE REQUIREMENTS	21A.30.045-C.6	TO COMPLIES WITH 21A.48 - SEE LANDSCAPE DRAWINGS		
PARKING & TRANSPORTATION				
MULTI-FAMILY RESIDENTIAL	21A.44.030-G	NO MINIMUM PARKING REQUIRED 1/2 STALL / DWELLING UNIT x (321) STUDIOS = 161 STALLS TOTAL MIN. RESIDENTIAL PARKING = 161 STALLS		
	21A.44.030-H	MAXIMUM RESIDENTIAL PARKING 1/2 STALLS / STUDIO x (85) STUDIOS = 43 STALLS 1 STALLS / 1-BEDROOM x (161) 1-BEDROOM = 161 STALLS 2 STALLS / 2 BEDROOM x (68) 2-BEDROOM = 136 STALLS 2 STALLS / 3 BEDROOM x (9) 3-BEDROOM = 18 STALLS TOTAL MAX. RESIDENTIAL PARKING = 358 STALLS		
RETAIL GOODS	21A.44.030-G	NO MINIMUM PARKING REQUIRED TOTAL RETAIL SQFT : 25,763 SQFT MULTIPLIER : 1 STALLS / 1,000 SQFT ABOVE 25,000 SQFT MINIMUM : 1 RETAIL STALLS		
	21A.44.030-H	MAXIMUM PARKING ALLOWED TOTAL RETAIL SQFT : 25,763 SQFT MULTIPLIER : 1 STALLS PER 1,000 SQFT MAXIMUM : 26 RETAIL STALLS		
TOTAL PARKING		TOTAL STALLS REQUIRED : MINIMUM PARKING STALLS : 162 STALLS MAXIMUM STALLS : 384 STAL	343 STALLS 343 STALLS	COMPLIES COMPLIES
ELECTRIC VEHICLE CHARGING	21A.44.050-B.2	1 SPACE PER 25 STALLS PROVIDED ON SITE.		COMPLIES
TOTAL EV CHARGING STATIONS		TOTAL STALLS REQUIRED : 14 EV STALLS	35 STALLS	COMPLIES
ACCESSIBLE PARKING	Table 21A.44.020-ZD	301 to 400 STALLS : 8 ADA STALLS REQUIRED		
TOTAL ACCESSIBLE STALLS		TOTAL STALLS REQUIRED : 8 STALLS	9 STALLS	COMPLIES
BICYCLE PARKING	21A.44.050-B.3	REQUIRED BICYCLE STALLS 5% OF REQUIRED PARKING STALLS CALCULATION : 5% X 162 STALLS = 9 STALLS	9 STALLS	COMPLIES
TOTAL BICYCLE STALLS		TOTAL STALLS REQUIRED : 9 STALLS	9 STALLS	COMPLIES
OFF STREET LOADING AREAS	21A.44.070	SHORT BERTH 10' 0" WIDE x 35' 0" LONG LONG BERTH 12' 0" WIDE x 50' 0" LONG		
MINIMUM LOADING BERTHS	21A.44.080	RETAIL / COMMERCE OF OFF STREET LOADING RESIDENTIAL SPACES 1000,000 - 200,000 USABEL SQFT EACH ADD. 200,000 USABEL SQFT TOTAL USEABLE SQFT / BERTHS PROVIDED	1 SHORT BERTH	COMPLIES
DESIGN STANDARDS	21A.37.060 Table D		2 SHORT BERTH	COMPLIES
GROUND FLOOR USE (%)	21A.37.050-A.1	75% : PERMITTED USE TO BE MIN. OF 25' DEEP & OCCUPY 75% OF STREET FACING FAÇADE	GROUND FLOOR RETAIL : PERMITTED DEPTH : 28'0" OR GREATER FRONTAGE : 100% PERMITTED USE	COMPLIES
GLASS : GROUND FLOOR (%)	21A.37.050-C.1	40% GLAZING ON STREET FACING FAÇADES	204.5 FEET WIDE x 21.5 FEET HEIGHT = 4,396.75 SQUARE FEET 153.2 FEET WIDE x 18.0 FEET HEIGHT = 2,757.6 SQUARE FEET OF GLAZING PERCENTAGE = 55.75%	COMPLIES
SOUTH STREET FRONT ELEVATION AREA GLAZING AREA PERCENTAGE		258.75 FEET WIDE x 21.5 FEET HEIGHT = 5,563.10 SQUARE FEET 167.5 FEET WIDE x 18.0 FEET HEIGHT = 2,995.0 SQUARE FEET OF GLAZING PERCENTAGE = 48.18%	2,680 SQUARE FEET OF GLAZING	COMPLIES

ZONING REVIEW
12" = 1'-0"

ISSUE	DATE	DESCRIPTION	RESOLVED
09/20/22	SCHEMATIC DESIGN		X
11/16/22	DESIGN DEVELOPMENT		X
02/02/23	50% CONSTRUCTION DOCUMENTS		X
02/02/23	GAP / PERMIT		X

REVISION	DATE	DESCRIPTION	BY
		FOOTING AND FOUNDATION	

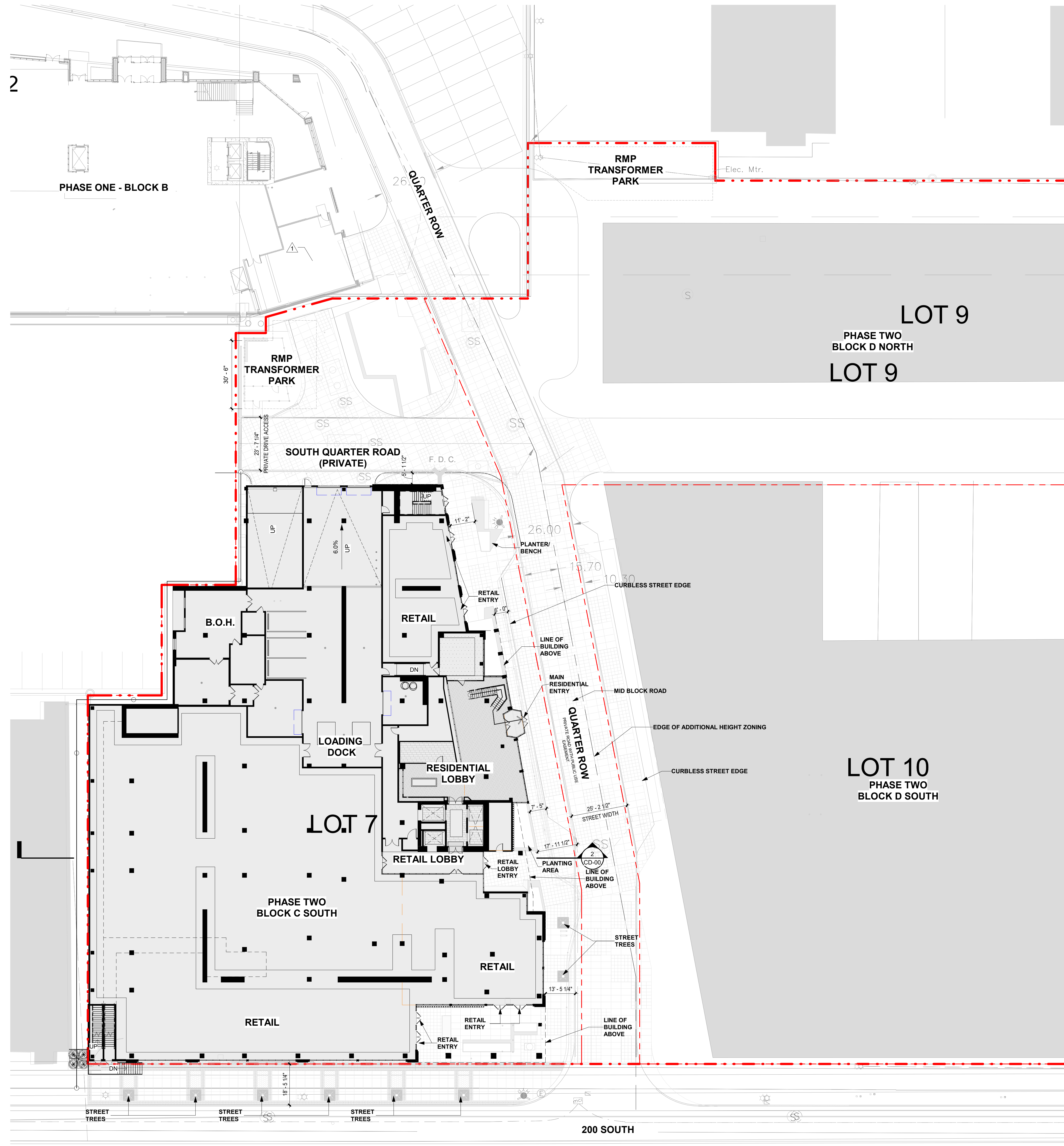
ZONING DATA

50% CONSTRUCTION DOCUMENTS

JOB NUMBER: 2138601

DRAWN BY: Author
CHECKED BY: Checker

CD-00



ISSUE	DATE	DESCRIPTION	APPROVED
09/20/22		SCHEMATIC DESIGN	X
11/16/22		DESIGN DEVELOPMENT	X
02/02/23		50% CONSTRUCTION DOCUMENTS	X
03/09/23		CDP / PERMIT	X

REVISION	DATE	DESCRIPTION	REV
01		FOUNDATIONS AND FOUNDATION	1
02		REVISIONS	2

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**ARCHITECTURAL
SITE PLAN**

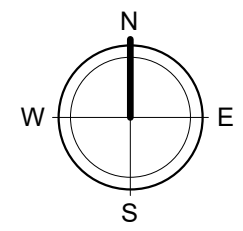
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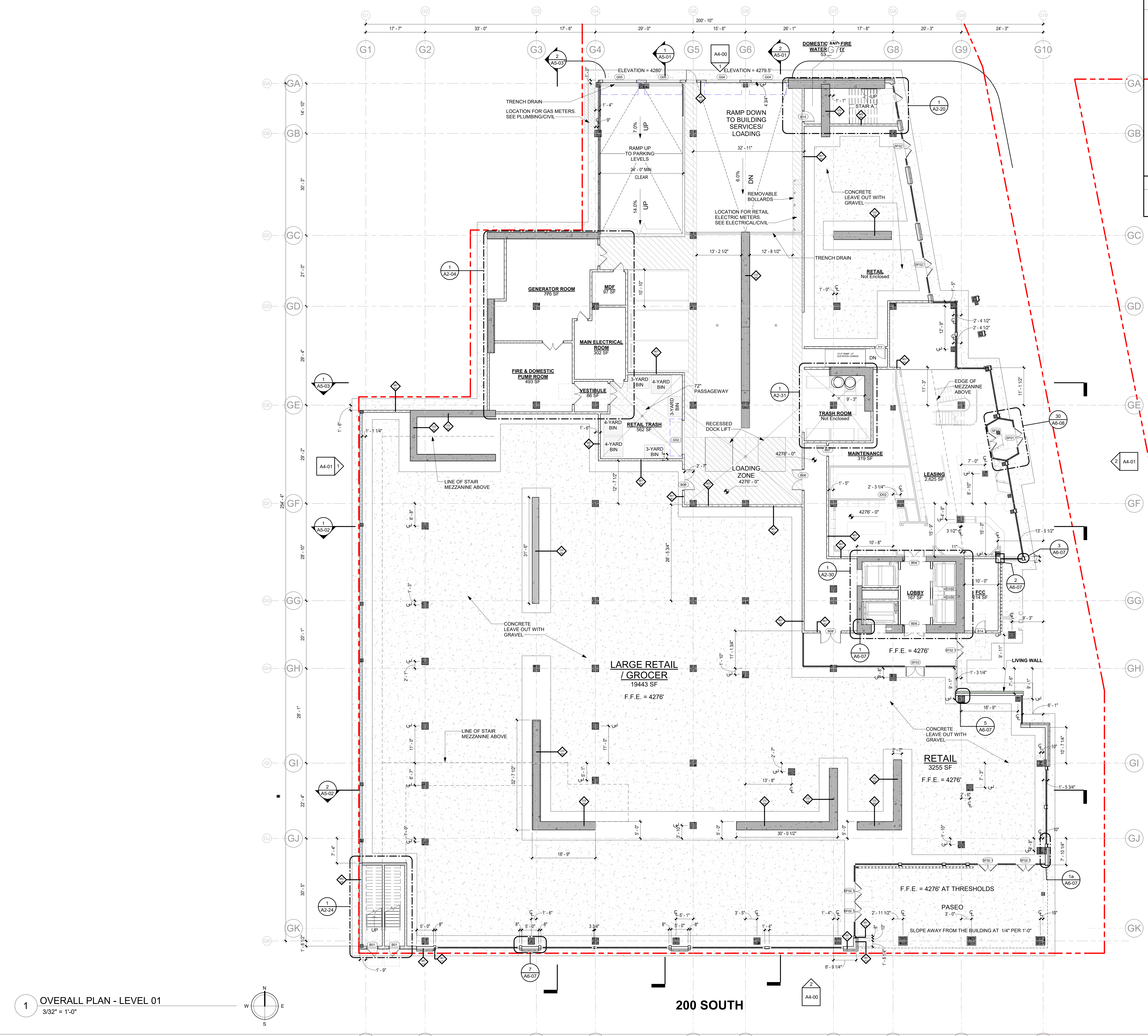
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CHECKED BY: Checker

SP-01

1 LEVEL 01 - SITE PLAN
1" = 20'-0"



C:\Users\cmason\Documents\Revit\West Quarter Block C_CD_R20_10mason.rvt 2/8/2022 3:59:03 PM



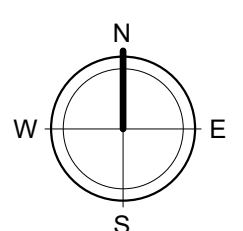
FLOOR PLAN NOTES

- ALL DIMENSIONS ARE TO THE FACE OF STUD' STRUCTURE UNLESS OTHERWISE NOTED.
- REFER TO SHEET CD-70 THRU CD-75 FOR PARTITION DETAILS.
- ALL TENANT SEPARATION WALL ARE 1-HR RATED PER ULA# W475.
- ALL CORRIDOR WALL ARE 1-HR RATED PER ULA# U419.
- SEE UNIT PLANS (A3 SERIES) AND ENLARGED CORE PLANS (A2 SERIES) FOR ADDITIONAL WALL OR DOOR TAGS.
- REFER TO SP-05 FOR ADDRESSING PLAN
- PIPE SAFETY GUARDS - PROVIDE GUARDS AROUND EVERY VERTICAL PIPE (STORM, SANITARY, ETC.) IN THE PARKING GARAGE TO PROTECT THE PIPES FROM DAMAGE.

UNIT TYPE LEGEND

A1	A1.1	A1-A
BASE UNIT	UNIT VARIATION	MOBILITY ACCESSIBLE UNIT

1 OVERALL PLAN - LEVEL 01
3/32" = 1'-0"



200 SOUTH

ISSUE

DATE	DESCRIPTION	NO.
09/20/22	SCHEMATIC DESIGN	1
11/16/22	DESIGN DEVELOPMENT	2
	30% CONSTRUCTION DOCUMENTS	3

REVISION

DATE	DESCRIPTION	BY

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OVERALL PLAN - LEVEL 01

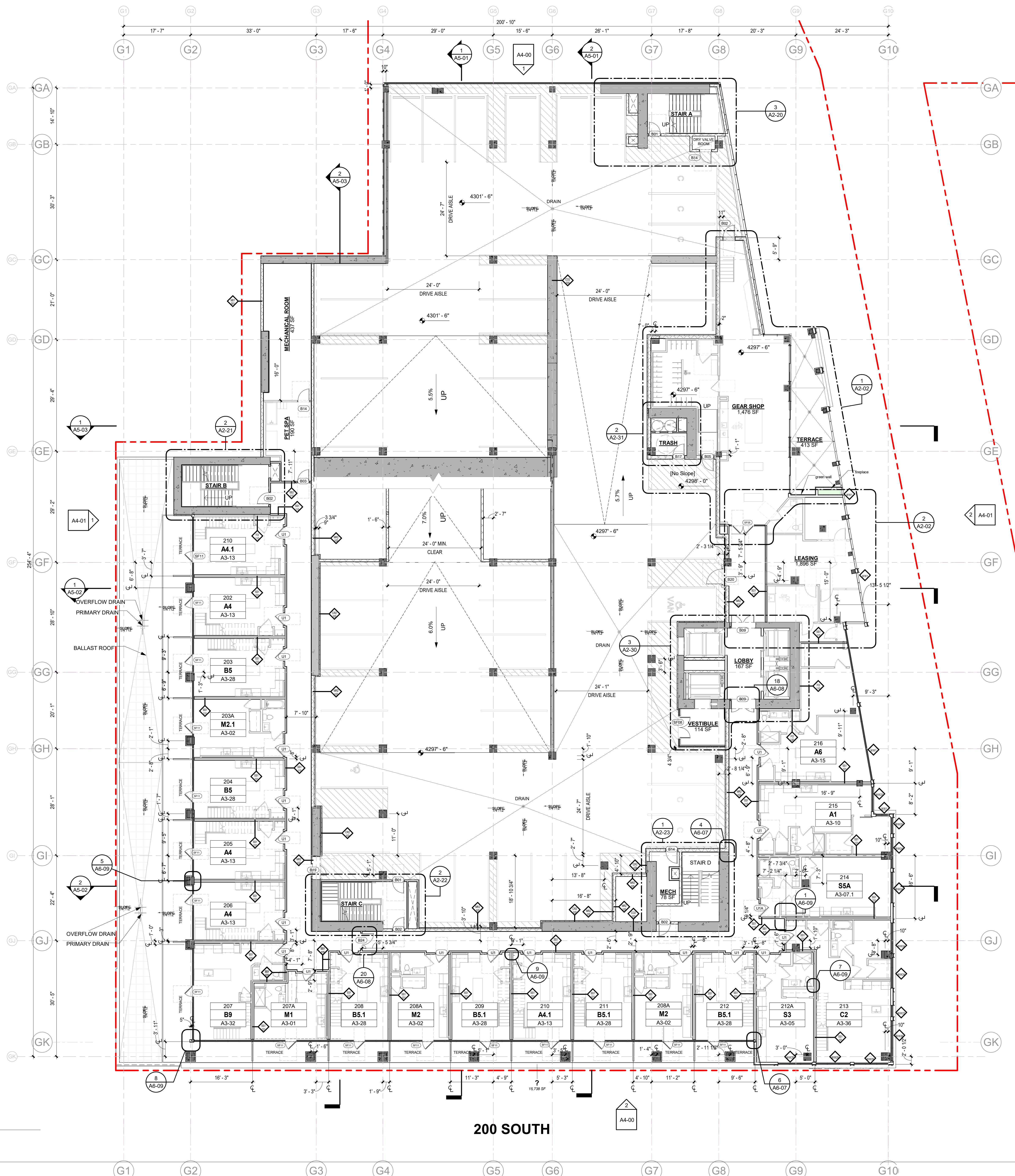
DESIGN REVIEW SUBMITTAL

JOB NUMBER:

DRAWN BY: Author
CHECKED BY: Checker

A1-01

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FLOOR PLAN NOTES

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SPRAY-APPLIED INSULATION UNDER PODIUM SLAB - R-10 CI
 CRICKET ROOF
 PROTECTIVE WALKPATH

UNIT TYPE LEGEND

A1	A1.1	A1-A
BASE UNIT	UNIT VARIATION	MOBILITY ACCESSIBLE UNIT

ISSUE

DATE	DESCRIPTION	BY	REV
09/20/22	SCHEMATIC DESIGN		
11/16/22	DESIGN DEVELOPMENT		
	FORWARD CONSTRUCTION DOCUMENTS		

REVISION

DATE	DESCRIPTION	BY

REVISION

DATE	DESCRIPTION	BY

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OVERALL PLAN - LEVEL 02

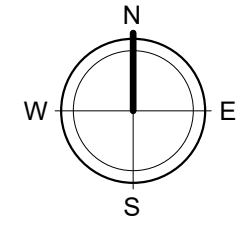
DESIGN REVIEW SUBMITTAL

JOB NUMBER:

DRAWN BY: Author
CHECKED BY: Checker

A1-02

1 OVERALL PLAN - LEVEL 02
3/32" = 1'-0"



200 SOUTH

ISSUE DATE	DESCRIPTION	REVISION
09/20/22	SCHEMATIC DESIGN	
11/16/22	DESIGN DEVELOPMENT	
	ISSUE FOR CONSTRUCTION DOCUMENTS	

REVISION DATE	DESCRIPTION	REV

NO.	DESCRIPTION

DESIGNER: DWELL DESIGN STUDIO, INC. 360 WEST 300 SOUTH, SUITE 102, SALT LAKE CITY, UT 84101. ARCHITECT: RITCHEY GROUP, 100 WEST 100 SOUTH, SUITE 200, SALT LAKE CITY, UT 84101. ENGINEER: PERKINS+WILL, 100 WEST 100 SOUTH, SUITE 200, SALT LAKE CITY, UT 84101. CONTRACTOR: [REDACTED]. ALL DIMENSIONS ARE TO THE FACE OF STUD STRUCTURE UNLESS OTHERWISE NOTED. REFER TO SHEET CD-70 THRU CD-75 FOR PARTITION DETAILS. ALL TENANT SEPARATION WALLS ARE 1-HR RATED PER ULA# W475. ALL CORRIDOR WALLS ARE 1-HR RATED PER ULA# U419. SEE UNIT PLANS (A3 SERIES) AND ENLARGED CORE PLANS (A2 SERIES) FOR ADDITIONAL WALL OR DOOR TAGS. REFER TO SP-05 FOR ADDRESSING PLAN. PIPE SAFETY GUARDS - PROVIDE GUARDS AROUND EVERY VERTICAL PIPE (STORM, SANITARY, ETC.) IN THE PARKING GARAGE TO PROTECT THE PIPES FROM DAMAGE.

OVERALL PLAN - LEVEL 03
 DESIGN REVIEW SUBMITTAL

JOB NUMBER:
 DRAWN BY: Author
 CHECKED BY: Checker

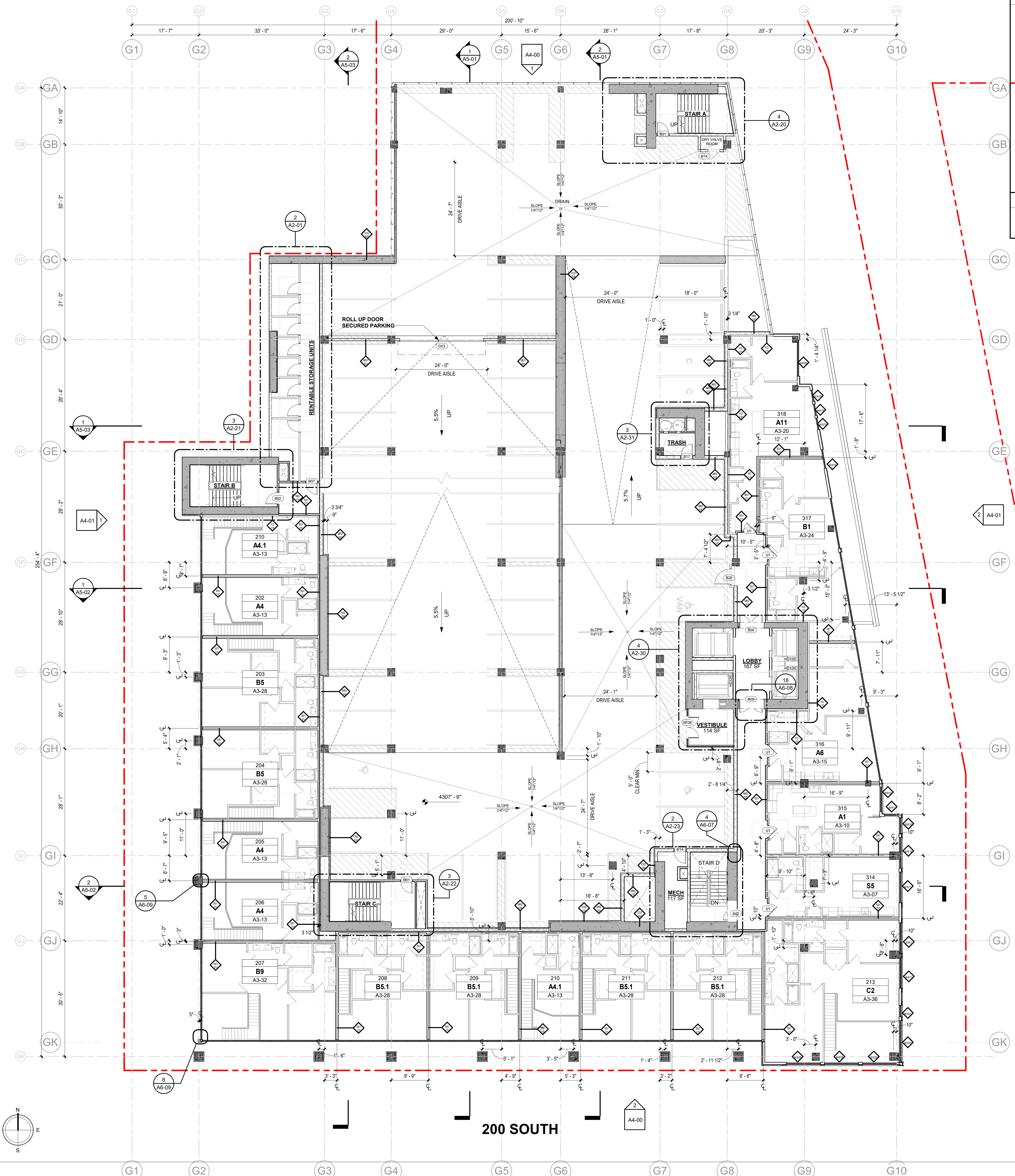
A1-03

FLOOR PLAN NOTES

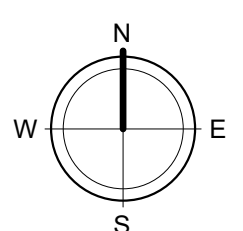
- ALL DIMENSIONS ARE TO THE FACE OF STUD STRUCTURE UNLESS OTHERWISE NOTED.
- REFER TO SHEET CD-70 THRU CD-75 FOR PARTITION DETAILS.
- ALL TENANT SEPARATION WALLS ARE 1-HR RATED PER ULA# W475.
- ALL CORRIDOR WALLS ARE 1-HR RATED PER ULA# U419.
- SEE UNIT PLANS (A3 SERIES) AND ENLARGED CORE PLANS (A2 SERIES) FOR ADDITIONAL WALL OR DOOR TAGS.
- REFER TO SP-05 FOR ADDRESSING PLAN.
- PIPE SAFETY GUARDS - PROVIDE GUARDS AROUND EVERY VERTICAL PIPE (STORM, SANITARY, ETC.) IN THE PARKING GARAGE TO PROTECT THE PIPES FROM DAMAGE.

UNIT TYPE LEGEND

A1	A1.1	A1-A
BASE UNIT	UNIT VARIATION	MOBILITY ACCESSIBLE UNIT



1 OVERALL PLAN - LEVEL 03
 3/32" = 1'-0"



ISSUE	DATE	DESCRIPTION	BY	REV
09/20/22	09/20/22	SCHEMATIC DESIGN		1
11/02/22	11/02/22	DESIGN DEVELOPMENT		2
01/05/23	01/05/23	30% CONSTRUCTION DOCUMENTS		3

REVISION	DATE	DESCRIPTION	BY

NO.	DESCRIPTION

DESIGNER: DWELL DESIGN STUDIO
 ARCHITECT: DWELL DESIGN STUDIO
 ENGINEER: DWELL DESIGN STUDIO
 CONTRACTOR: DWELL DESIGN STUDIO
 OWNER: THE RITCHIE GROUP
 PROJECT: WEST QUARTER - BLOCK C
 SHEET: OVERALL PLAN - LEVEL 04
 DATE: 09/20/22

**OVERALL PLAN
 - LEVEL 04**

DESIGN REVIEW SUBMITTAL

JOB NUMBER:
 DRAWN BY: Author
 CHECKED BY: Checker

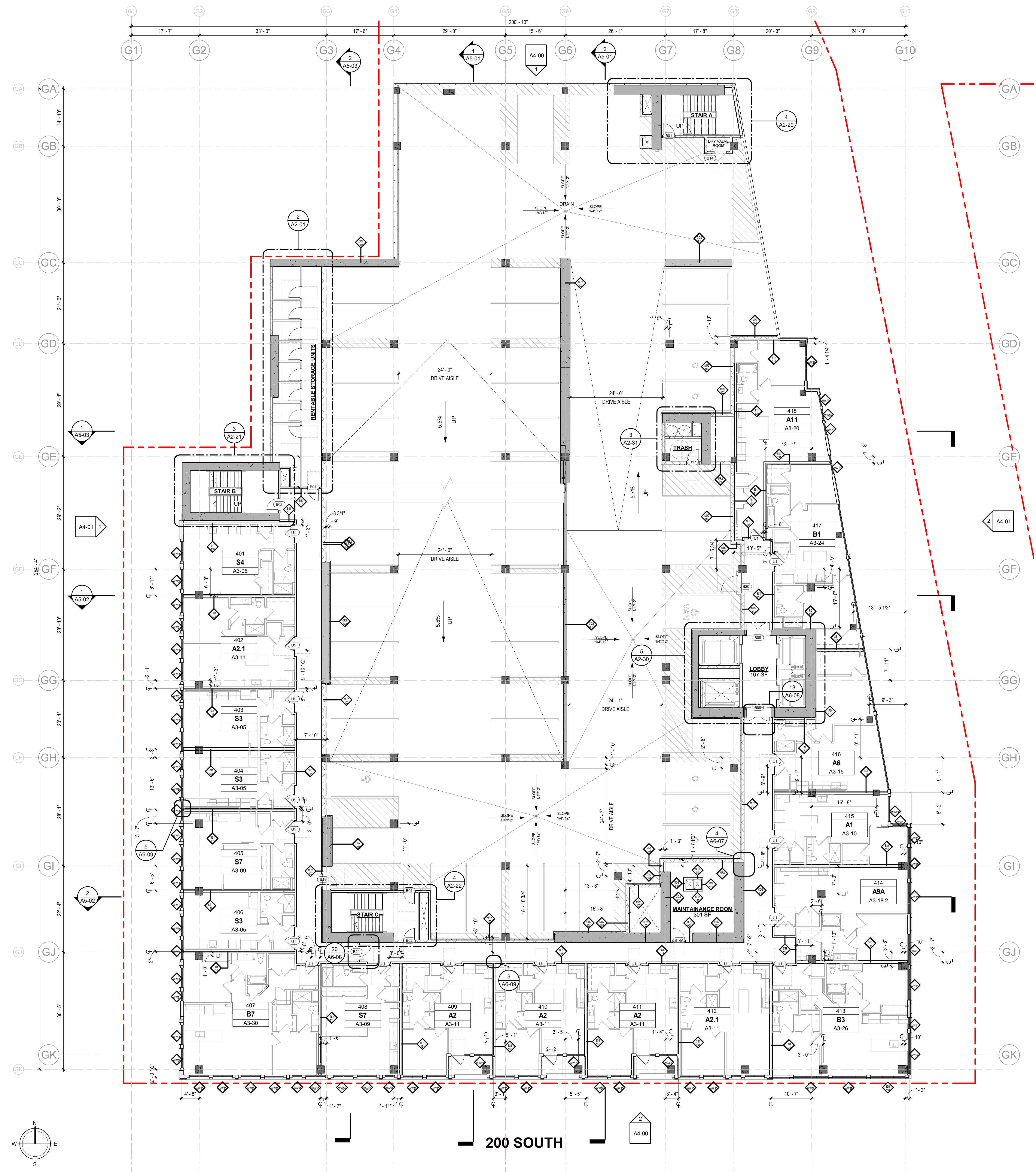
A1-04

FLOOR PLAN NOTES

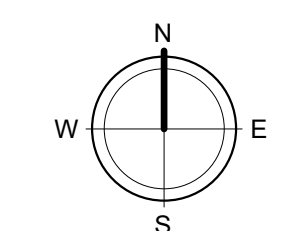
- ALL DIMENSIONS ARE TO THE FACE OF STUD/ STRUCTURE UNLESS OTHERWISE NOTED.
- REFER TO SHEET CD-70 THRU CD-75 FOR PARTITION DETAILS.
- ALL TENANT SEPARATION WALL ARE 1-HR RATED PER UL# W475.
- ALL CORRIDOR WALL ARE 1-HR RATED PER UL# U419.
- SEE UNIT PLANS (A3 SERIES) AND ENLARGED CORE PLANS (A2 SERIES) FOR ADDITIONAL WALL OR DOOR TAGS.
- REFER TO SP-05 FOR ADDRESSING PLAN
- PIPE SAFETY GUARDS - PROVIDE GUARDS AROUND EVERY VERTICAL PIPE (STORM, SANITARY, ETC.) IN THE PARKING GARAGE TO PROTECT THE PIPES FROM DAMAGE.

UNIT TYPE LEGEND

A1	A1.1	A1-A
BASE UNIT	UNIT VARIATION	MOBILITY ACCESSIBLE UNIT



1 OVERALL PLAN - LEVEL 04
 3/32" = 1'-0"



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WEST QUARTER - BLOCK C
 SALT LAKE CITY, UTAH



ISSUE	DATE	DESCRIPTION	BY	NO.
09/20/22	09/20/22	SCHEMATIC DESIGN
11/16/22	11/16/22	DESIGN DEVELOPMENT
02/02/23	02/02/23	CONSTRUCTION DOCUMENTS

REVISION	DATE	DESCRIPTION	BY

DESIGNER: DWELL DESIGN STUDIO
 ARCHITECT: DWELL DESIGN STUDIO
 ENGINEER: DWELL DESIGN STUDIO
 CONTRACTOR: DWELL DESIGN STUDIO
 OWNER: DWELL DESIGN STUDIO
 PROJECT: WEST QUARTER - BLOCK C
 SHEET: OVERALL PLAN - LEVEL 05
 DATE: 02/02/23

OVERALL PLAN - LEVEL 05
 DESIGN REVIEW SUBMITTAL

JOB NUMBER:
 DRAWN BY: Author
 CHECKED BY: Checker

A1-05

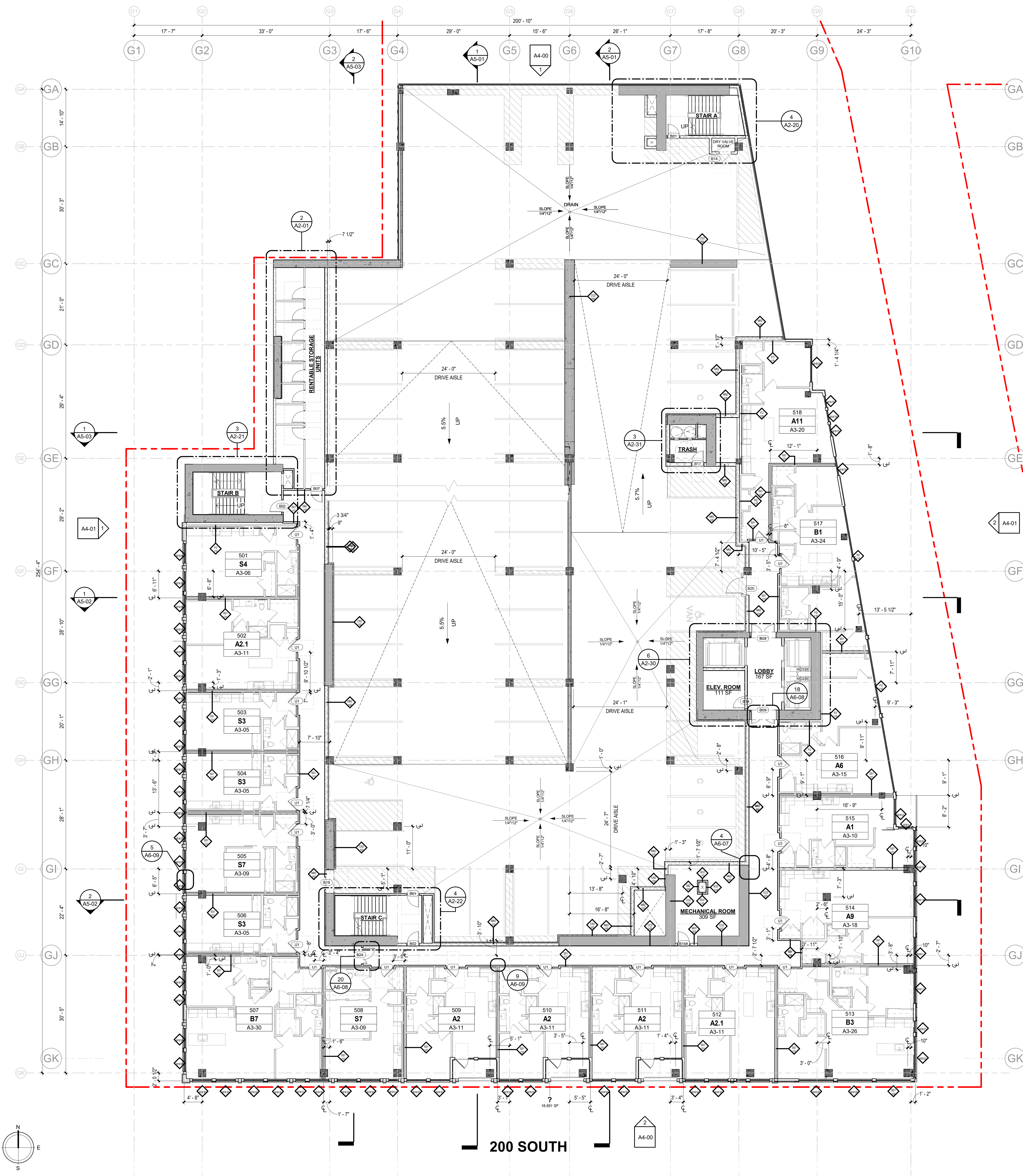
FLOOR PLAN NOTES

- ALL DIMENSIONS ARE TO THE FACE OF STUD/ STRUCTURE UNLESS OTHERWISE NOTED.
- REFER TO SHEET CD-70 THRU CD-75 FOR PARTITION DETAILS.
- ALL TENANT SEPARATION WALL ARE 1-HR RATED PER ULI# W475.
- ALL CORRIDOR WALL ARE 1-HR RATED PER ULI# U419.
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SPRAY-APPLIED INSULATION UNDER PODIUM SLAB - R-10 CI
 CRICKET ROOF
 PROTECTIVE WALKPATH

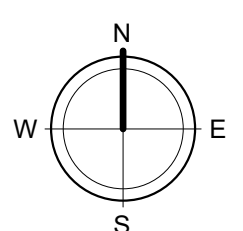
UNIT TYPE LEGEND

A1	A1.1	A1-A
BASE UNIT	UNIT VARIATION	MOBILITY ACCESSIBLE UNIT



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1 OVERALL PLAN - LEVEL 05
 3/32" = 1'-0"



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ISSUE	DATE	DESCRIPTION	BY	REV
09/20/22	09/20/22	SCHEMATIC DESIGN		1
11/02/22	11/02/22	DESIGN DEVELOPMENT		2
12/01/22	12/01/22	CONSTRUCTION DOCUMENTS		3

REVISION	DATE	DESCRIPTION	BY

NO.	DESCRIPTION

DESIGNER: DWELL DESIGN STUDIO, INC. 360 WEST 300 SOUTH, UNIT 102, SALT LAKE CITY, UT 84101. ARCHITECT: RITCHIE GROUP, 100 WEST 100 SOUTH, SUITE 200, SALT LAKE CITY, UT 84101. CONTRACTOR: [REDACTED]. THIS DOCUMENT IS THE PROPERTY OF DWELL DESIGN STUDIO, INC. AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT THE WRITTEN PERMISSION OF DWELL DESIGN STUDIO, INC. THE INFORMATION CONTAINED HEREIN IS FOR GENERAL INFORMATION ONLY AND IS NOT TO BE USED FOR ANY OTHER PURPOSE.

OVERALL PLAN - LEVEL 06
 DESIGN REVIEW SUBMITTAL

JOB NUMBER:
 DRAWN BY: Author
 CHECKED BY: Checker

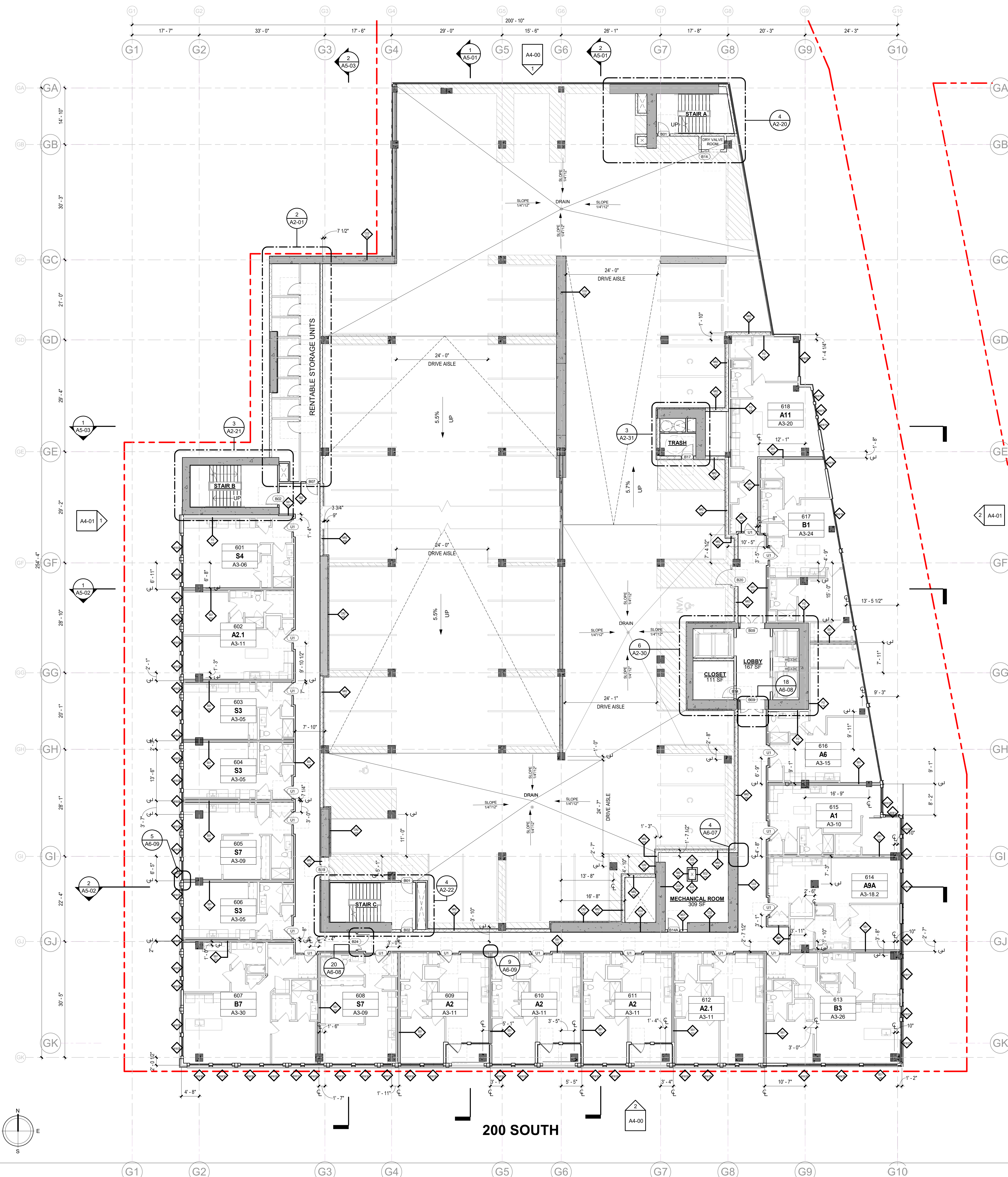
A1-06

FLOOR PLAN NOTES

- ALL DIMENSIONS ARE TO THE FACE OF STUD' STRUCTURE UNLESS OTHERWISE NOTED.
- REFER TO SHEET CD-70 THRU CD-75 FOR PARTITION DETAILS.
- ALL TENANT SEPARATION WALL ARE 1-HR RATED PER UL# W475.
- ALL CORRIDOR WALL ARE 1-HR RATED PER UL# U419.
- SEE UNIT PLANS (A3 SERIES) AND ENLARGED CORE PLANS (A2 SERIES) FOR ADDITIONAL WALL OR DOOR TAGS.
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- PIPE SAFETY GUARDS - PROVIDE GUARDS AROUND EVERY VERTICAL PIPE (STORM, SANITARY, ETC.) IN THE PARKING GARAGE TO PROTECT THE PIPES FROM DAMAGE.

UNIT TYPE LEGEND

A1	A1.1	A1-A
BASE UNIT	UNIT VARIATION	MOBILITY ACCESSIBLE UNIT



1 OVERALL PLAN - LEVEL 06
 3/32" = 1'-0"

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ISSUE	DATE	DESCRIPTION	BY	NO.
09/20/22	09/20/22	SCHEMATIC DESIGN	AW	1
11/16/22	11/16/22	DESIGN DEVELOPMENT	AW	2
01/05/23	01/05/23	CONSTRUCTION DOCUMENTS	AW	3

REVISION	DATE	DESCRIPTION	BY

NO.	DESCRIPTION

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OVERALL PLAN - LEVEL 07
 DESIGN REVIEW SUBMITTAL

JOB NUMBER:
 DRAWN BY: Author
 CHECKED BY: Checker

A1-07

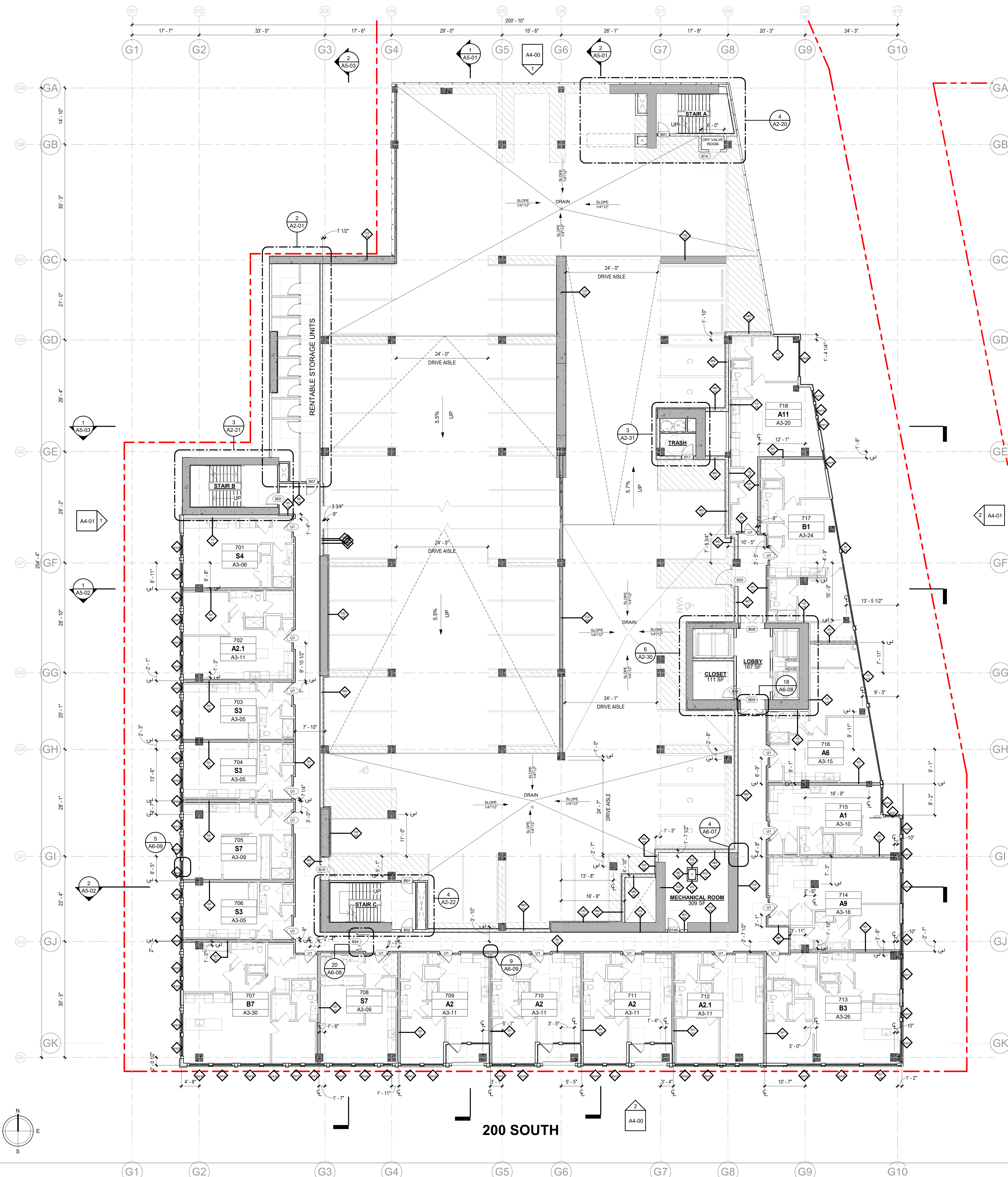
FLOOR PLAN NOTES

- ALL DIMENSIONS ARE TO THE FACE OF STUD/ STRUCTURE UNLESS OTHERWISE NOTED.
- REFER TO SHEET CD-70 THRU CD-75 FOR PARTITION DETAILS.
- ALL TENANT SEPARATION WALL ARE 1-HR RATED PER ULI# W475.
- ALL CORRIDOR WALL ARE 1-HR RATED PER ULI# U419.
- SEE UNIT PLANS (A3 SERIES) AND ENLARGED CORE PLANS (A2 SERIES) FOR ADDITIONAL WALL OR DOOR TAGS.
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SPRAY-APPLIED INSULATION UNDER PODIUM SLAB - R-10 CI
 CRICKET ROOF
 PROTECTIVE WALKPATH

UNIT TYPE LEGEND

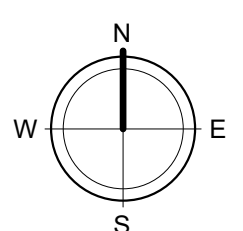
A1	A1.1	A1-A
BASE UNIT	UNIT VARIATION	MOBILITY ACCESSIBLE UNIT



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1 OVERALL PLAN - LEVEL 07
 3/32" = 1'-0"



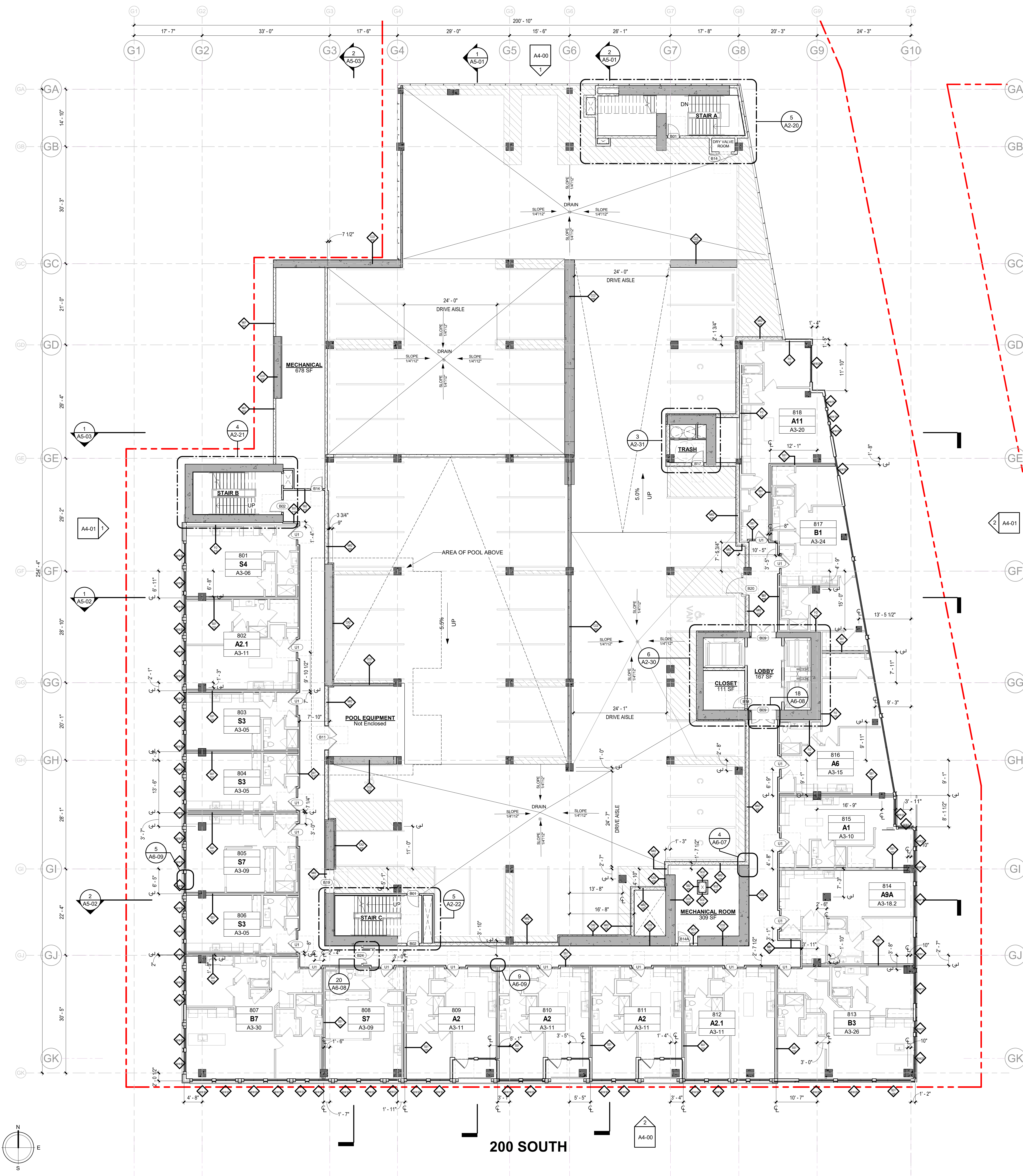
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FLOOR PLAN NOTES

- ALL DIMENSIONS ARE TO THE FACE OF STUD' STRUCTURE UNLESS OTHERWISE NOTED.
- REFER TO SHEET CD-70 THRU CD-75 FOR PARTITION DETAILS.
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UNIT TYPE LEGEND

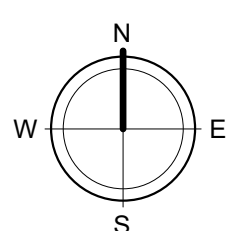
A1	A1.1	A1-A
BASE UNIT	UNIT VARIATION	MOBILITY ACCESSIBLE UNIT



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1 OVERALL PLAN - LEVEL 08
3/32" = 1'-0"



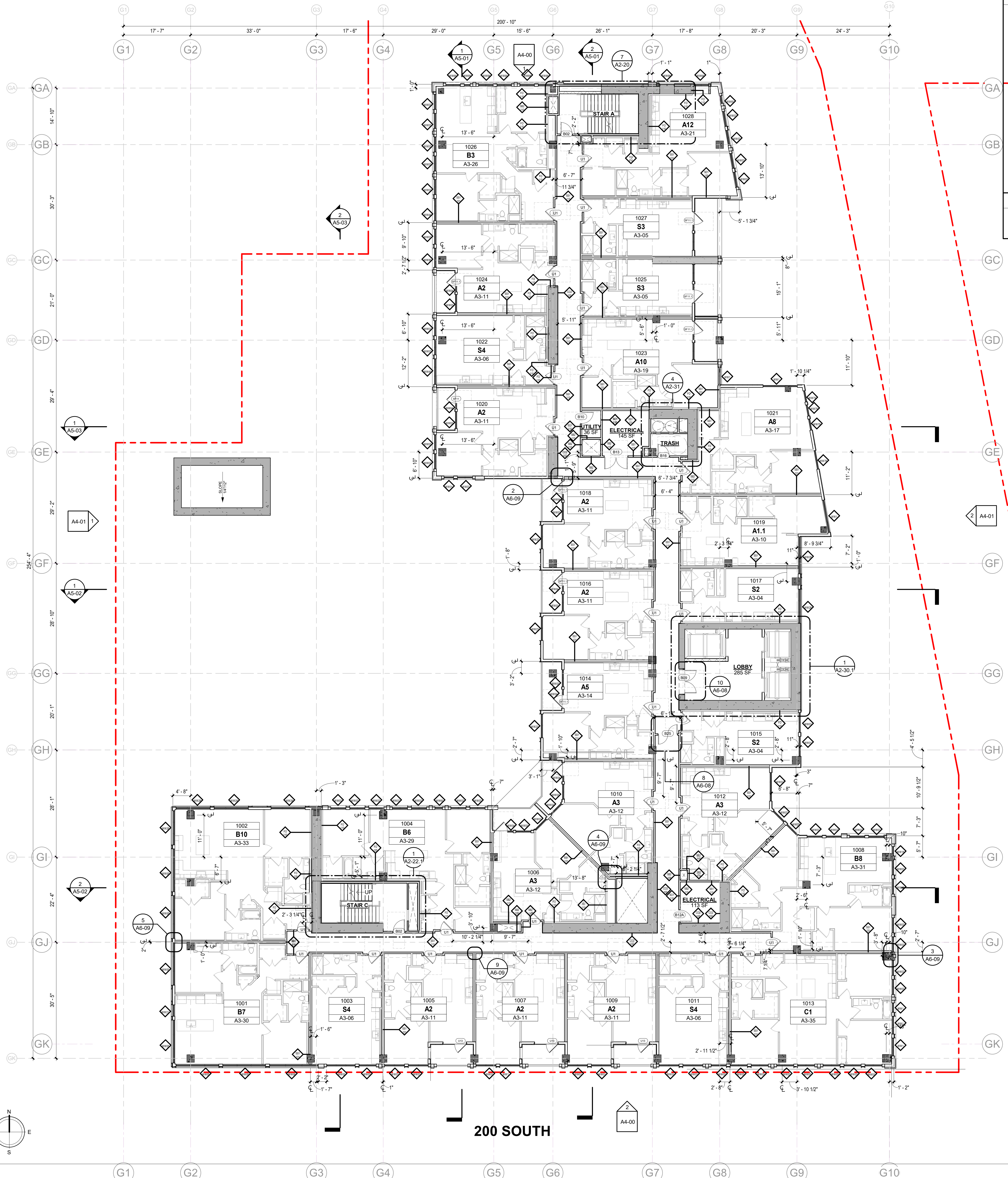
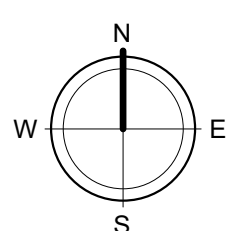
200 SOUTH

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1 OVERALL PLAN - LEVEL 10

3/32" = 1'-0"



FLOOR PLAN NOTES

- ALL DIMENSIONS ARE TO THE FACE OF STUD' STRUCTURE UNLESS OTHERWISE NOTED.
- REFER TO SHEET CD-70 THRU CD-75 FOR PARTITION DETAILS.
- ALL TENANT SEPARATION WALL ARE 1-HR RATED PER UL4 W475.
- ALL CORRIDOR WALL ARE 1-HR RATED PER UL4 U419.
- SEE UNIT PLANS (A3 SERIES) AND ENLARGED CORE PLANS (A2 SERIES) FOR ADDITIONAL WALL OR DOOR TAGS.
- REFER TO SP-05 FOR ADDRESSING PLAN
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SPRAY-APPLIED INSULATION UNDER PODIUM SLAB - R-10 CI
 CRICKET ROOF
 PROTECTIVE WALKPATH

UNIT TYPE LEGEND

A1	A1.1	A1-A
BASE UNIT	UNIT VARIATION	MOBILITY ACCESSIBLE UNIT

dwell design studio

360 WEST 300 SOUTH
UNIT 102
SALT LAKE CITY, UT 84101
PHONE: 385.273.3888
dwelldesignstudio.com

WEST QUARTER - BLOCK C

SALT LAKE CITY, UTAH

A DEVELOPMENT FOR
THE RITCHIE GROUP

ISSUE

DATE	DESCRIPTION	BY
09/20/22	SCHEMATIC DESIGN	
11/16/22	DESIGN DEVELOPMENT	
	PERMITS, 50% CONSTRUCTION DOCUMENTS	

REVISION

DATE	DESCRIPTION	BY
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DESIGNER:
THE RITCHIE GROUP
1000 WEST 1000 SOUTH, SUITE 1000
SALT LAKE CITY, UT 84119
PHONE: 385.273.3888
WWW.RITICHIEGROUP.COM

ARCHITECT:
Dwell Design Studio
360 WEST 300 SOUTH, UNIT 102
SALT LAKE CITY, UT 84101
PHONE: 385.273.3888
WWW.DWELLDIGNSSTUDIO.COM

OVERALL PLAN - LEVELS 10

DESIGN REVIEW SUBMITTAL

JOB NUMBER:
DRAWN BY: Author
CHECKED BY: Checker

A1-10

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ISSUE DATE	DESCRIPTION	REVISION
09/20/22	SCHEMATIC DESIGN	
11/02/22	DESIGN DEVELOPMENT	
12/01/22	30% CONSTRUCTION DOCUMENTS	

REVISION DATE	DESCRIPTION	REV

NO.	DESCRIPTION

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OVERALL PLAN - LEVEL 11
DESIGN REVIEW SUBMITTAL

JOB NUMBER:
DRAWN BY: Author
CHECKED BY: Checker

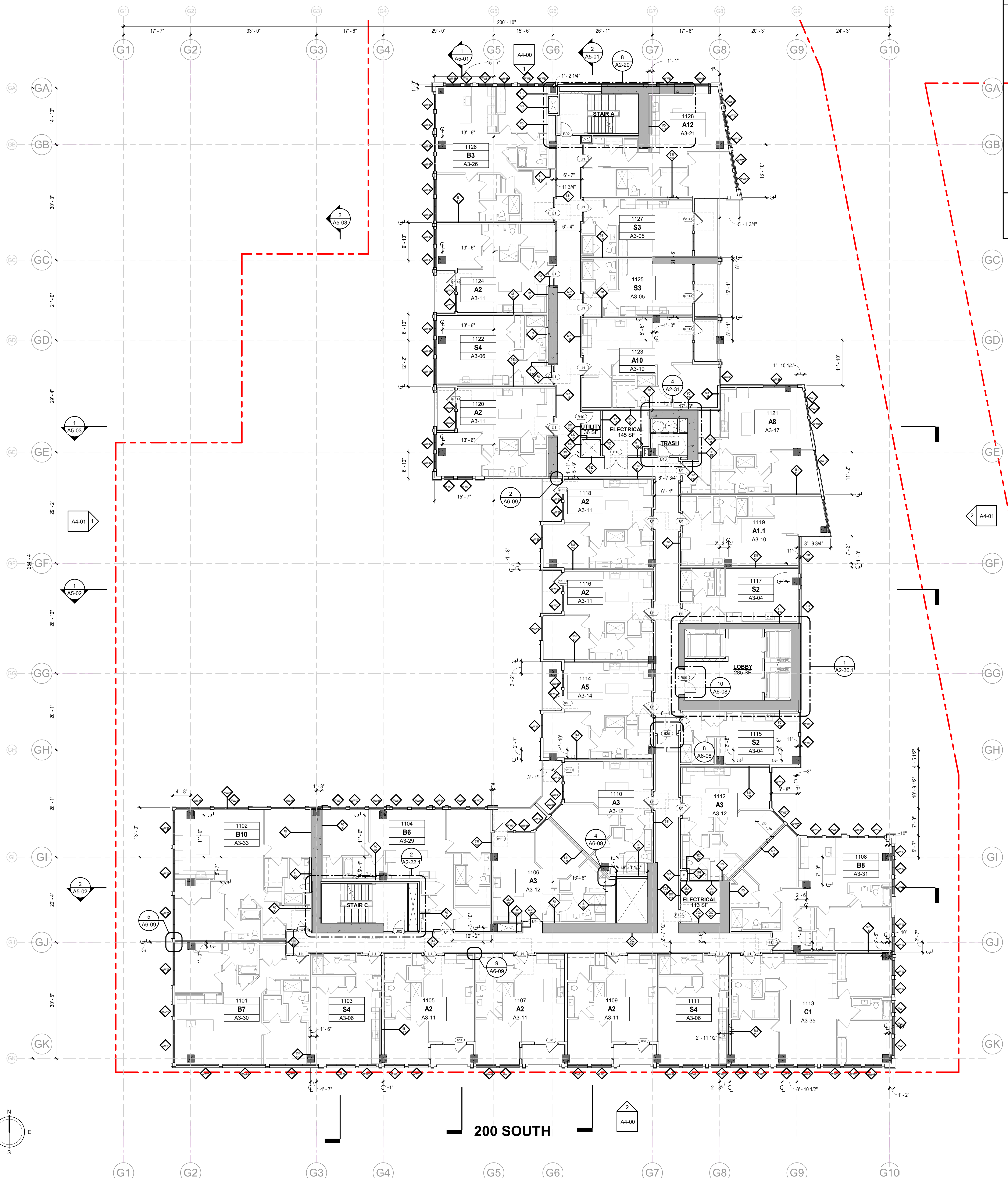
A1-11

FLOOR PLAN NOTES

- ALL DIMENSIONS ARE TO THE FACE OF STUD' STRUCTURE UNLESS OTHERWISE NOTED.
- REFER TO SHEET CD-70 THRU CD-75 FOR PARTITION DETAILS.
- ALL TENANT SEPARATION WALL ARE 1-HR RATED PER ULA W475.
- ALL CORRIDOR WALL ARE 1-HR RATED PER ULA U419.
- SEE UNIT PLANS (A3 SERIES) AND ENLARGED CORE PLANS (A2 SERIES) FOR ADDITIONAL WALL OR DOOR TAGS.
- REFER TO SP-05 FOR ADDRESSING PLAN
- PIPE SAFETY GUARDS - PROVIDE GUARDS AROUND EVERY VERTICAL PIPE (STORM, SANITARY, ETC.) IN THE PARKING GARAGE TO PROTECT THE PIPES FROM DAMAGE.

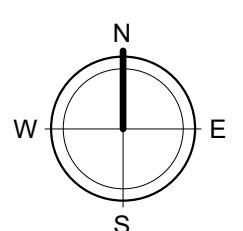
UNIT TYPE LEGEND

A1 BASE UNIT	A1.1 UNIT VARIATION	A1-A MOBILITY ACCESSIBLE UNIT
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1 OVERALL PLAN - LEVEL 11
3/32" = 1'-0"



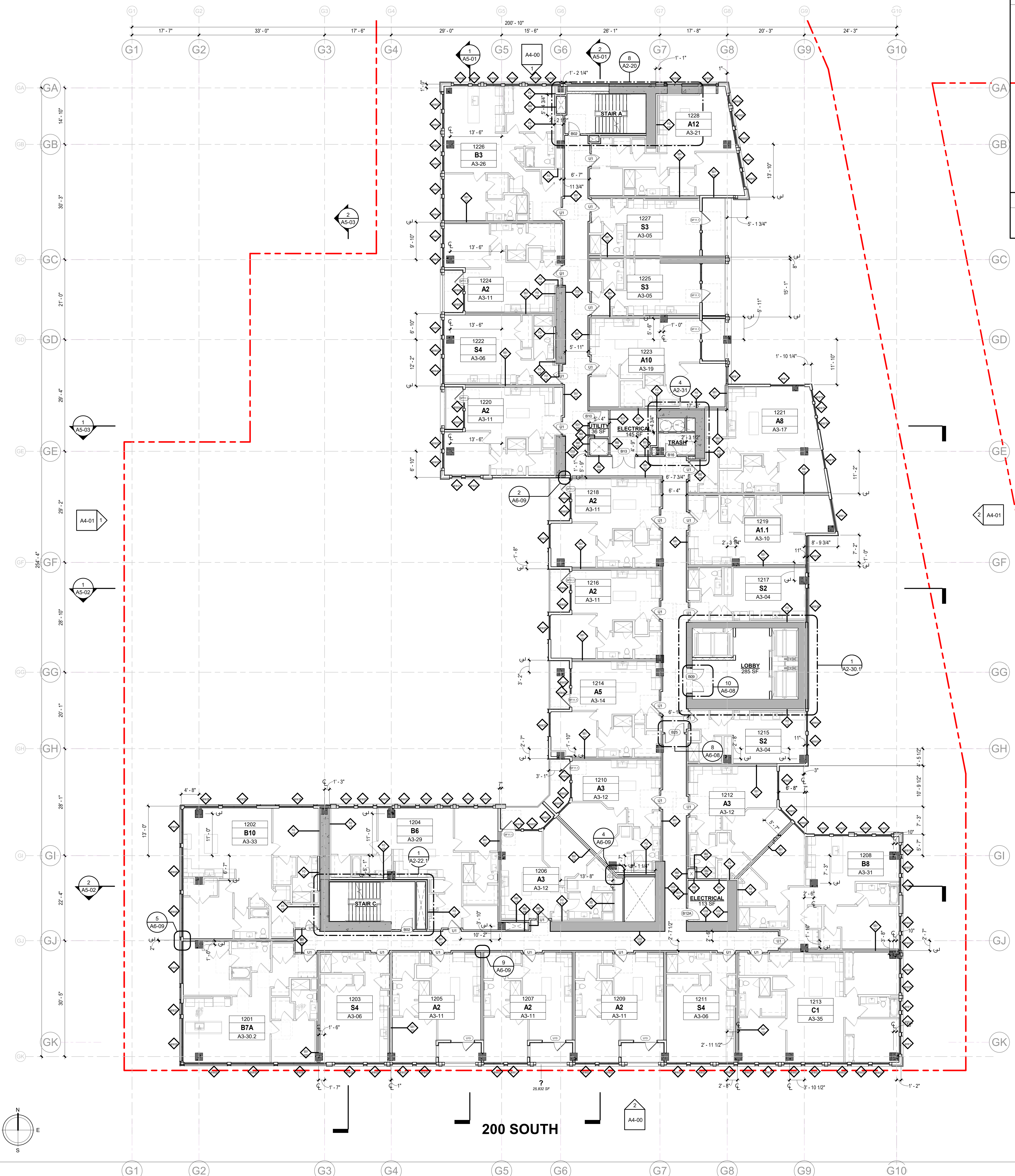
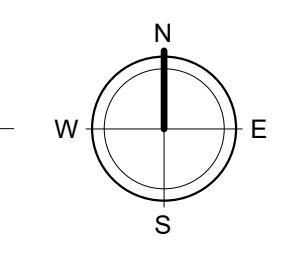
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28/02/2024 10:16 PM

1 OVERALL PLAN - LEVEL 12

3/32" = 1'-0"



FLOOR PLAN NOTES

- ALL DIMENSIONS ARE TO THE FACE OF STUD' STRUCTURE UNLESS OTHERWISE NOTED.
- REFER TO SHEET CD-70 THRU CD-75 FOR PARTITION DETAILS.
- ALL TENANT SEPARATION WALL ARE 1-HR RATED PER U4 W475.
- ALL CORRIDOR WALL ARE 1-HR RATED PER U4 U419.
- SEE UNIT PLANS (A3 SERIES) AND ENLARGED CORE PLANS (A2 SERIES) FOR ADDITIONAL WALL OR DOOR TAGS.
- REFER TO SP-05 FOR ADDRESSING PLAN
- PIPE SAFETY GUARDS - PROVIDE GUARDS AROUND EVERY VERTICAL PIPE (STORM, SANITARY, ETC.) IN THE PARKING GARAGE TO PROTECT THE PIPES FROM DAMAGE.

UNIT TYPE LEGEND

A1	A1.1	A1-A
BASE UNIT	UNIT VARIATION	MOBILITY ACCESSIBLE UNIT

dwell design studio

360 WEST 300 SOUTH
UNIT 102
SALT LAKE CITY, UT 84101
PHONE: 385.270.3888
dwelldesignstudio.com

WEST QUARTER - BLOCK C

SALT LAKE CITY, UTAH

A DEVELOPMENT FOR
THE RITCHIE GROUP

ISSUE

DATE	DESCRIPTION	ISSUED BY
09/20/22	SCHEMATIC DESIGN	JCM
11/16/22	DESIGN DEVELOPMENT	JCM
12/08/22	30% CONSTRUCTION DOCUMENTS	JCM

REVISION

DATE	DESCRIPTION	REV

REVISION

DATE	DESCRIPTION	REV

OWNER:
THE RITCHIE GROUP
360 WEST 300 SOUTH, UNIT 102
SALT LAKE CITY, UT 84101
PHONE: 385.270.3888

DESIGNER:
DWELL DESIGN STUDIO
360 WEST 300 SOUTH, UNIT 102
SALT LAKE CITY, UT 84101
PHONE: 385.270.3888

OVERALL PLAN - LEVEL 12

DESIGN REVIEW SUBMITTAL

JOB NUMBER:
DRAWN BY: Author
CHECKED BY: Checker

A1-12

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ISSUE DATE	DESCRIPTION	REVISION
09/20/22	SCHEMATIC DESIGN	
11/02/22	DESIGN DEVELOPMENT	
12/02/22	30% CONSTRUCTION DOCUMENTS	

REVISION DATE	DESCRIPTION	REV

NO.	DESCRIPTION

THESE DRAWINGS ARE ASSUMED TO ACCURATELY REPRESENT THE EXISTING CONDITIONS OF THE PROJECT AND THE DESIGNER HAS CONDUCTED VISUAL VERIFICATION OF THE INFORMATION PROVIDED BY THE CLIENT AND THE ARCHITECT. THE DESIGNER HAS CONDUCTED VISUAL VERIFICATION OF THE INFORMATION PROVIDED BY THE CLIENT AND THE ARCHITECT. THE DESIGNER HAS CONDUCTED VISUAL VERIFICATION OF THE INFORMATION PROVIDED BY THE CLIENT AND THE ARCHITECT. THE DESIGNER HAS CONDUCTED VISUAL VERIFICATION OF THE INFORMATION PROVIDED BY THE CLIENT AND THE ARCHITECT.

OVERALL PLAN - LEVEL 13
 DESIGN REVIEW SUBMITTAL

JOB NUMBER:
 DRAWN BY: Author
 CHECKED BY: Checker

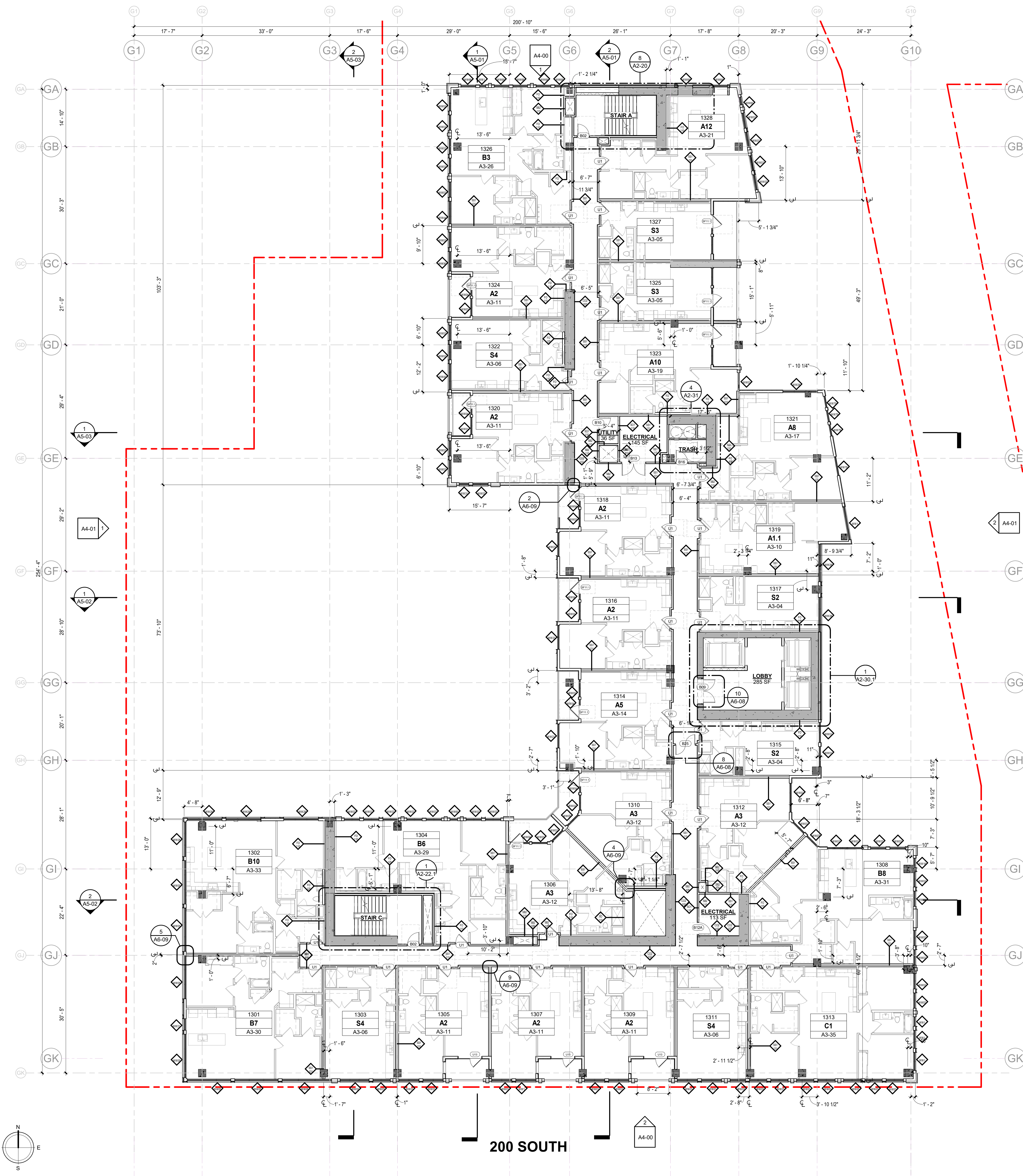
A1-13

FLOOR PLAN NOTES

- ALL DIMENSIONS ARE TO THE FACE OF STUD/ STRUCTURE UNLESS OTHERWISE NOTED.
- REFER TO SHEET CD-70 THRU CD-75 FOR PARTITION DETAILS.
- ALL TENANT SEPARATION WALL ARE 1-HR RATED PER ULA W475.
- ALL CORRIDOR WALL ARE 1-HR RATED PER ULA U419.
- SEE UNIT PLANS (A3 SERIES) AND ENLARGED CORE PLANS (A2 SERIES) FOR ADDITIONAL WALL OR DOOR TAGS.
- REFER TO SP-05 FOR ADDRESSING PLAN
- PIPE SAFETY GUARDS - PROVIDE GUARDS AROUND EVERY VERTICAL PIPE (STORM, SANITARY, ETC.) IN THE PARKING GARAGE TO PROTECT THE PIPES FROM DAMAGE.

UNIT TYPE LEGEND

A1 BASE UNIT	A1.1 UNIT VARIATION	A1-A MOBILITY ACCESSIBLE UNIT
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1 OVERALL PLAN - LEVEL 13
 3/32" = 1'-0"

200 SOUTH

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ISSUE DATE	DESCRIPTION	REVISION
09/20/22	SCHEMATIC DESIGN	
11/02/22	DESIGN DEVELOPMENT	
12/02/22	30% CONSTRUCTION DOCUMENTS	

REVISION DATE	DESCRIPTION	REV

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OVERALL PLAN - LEVEL 14

DESIGN REVIEW SUBMITTAL

JOB NUMBER:

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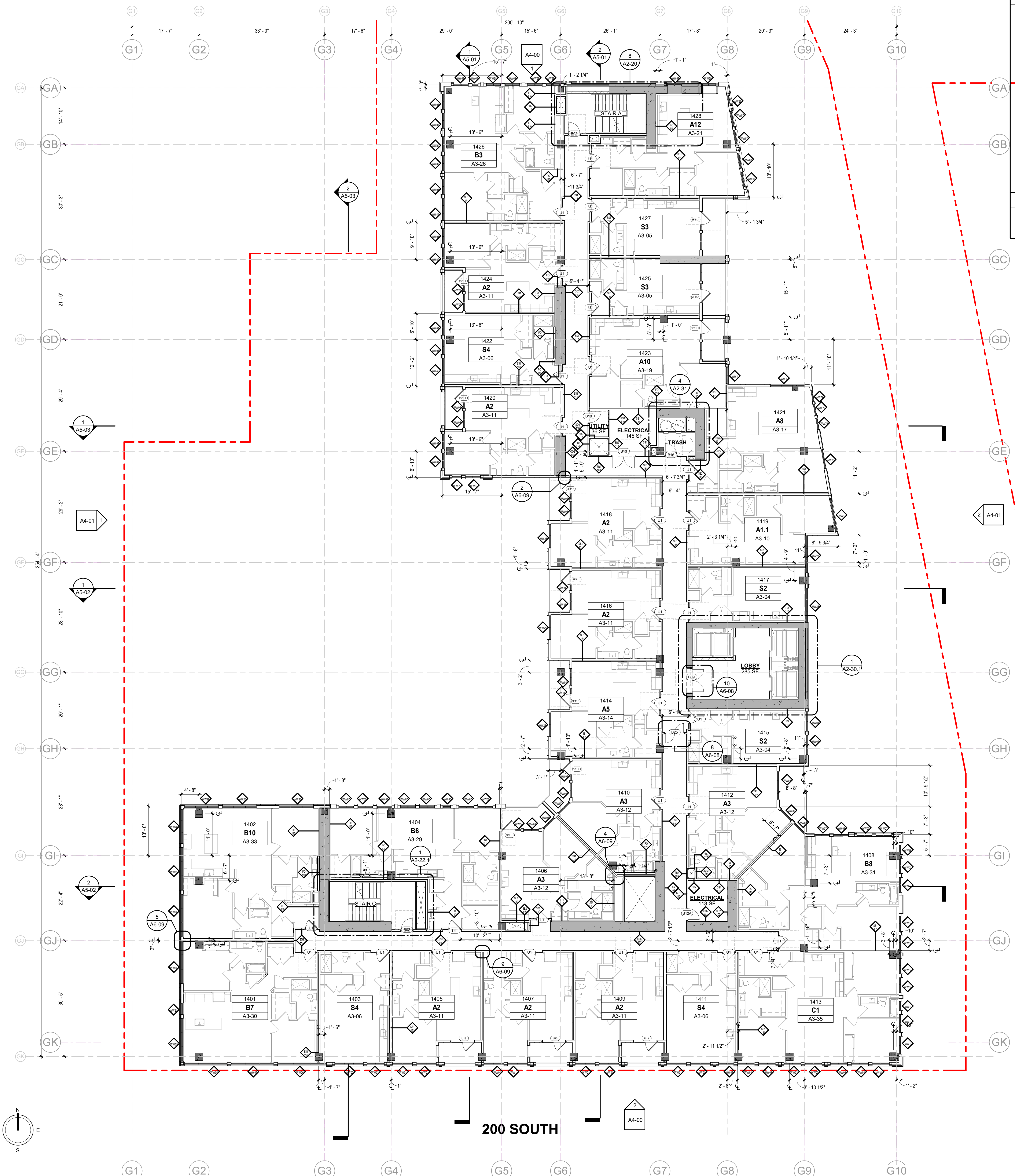
A1-14

FLOOR PLAN NOTES

- ALL DIMENSIONS ARE TO THE FACE OF STUD/ STRUCTURE UNLESS OTHERWISE NOTED.
- REFER TO SHEET CD-70 THRU CD-75 FOR PARTITION DETAILS.
- ALL TENANT SEPARATION WALL ARE 1-HR RATED PER ULA W475.
- ALL CORRIDOR WALL ARE 1-HR RATED PER ULA U419.
- SEE UNIT PLANS (A3 SERIES) AND ENLARGED CORE PLANS (A2 SERIES) FOR ADDITIONAL WALL OR DOOR TAGS.
- REFER TO SP-05 FOR ADDRESSING PLAN
- PIPE SAFETY GUARDS - PROVIDE GUARDS AROUND EVERY VERTICAL PIPE (STORM, SANITARY, ETC.) IN THE PARKING GARAGE TO PROTECT THE PIPES FROM DAMAGE.

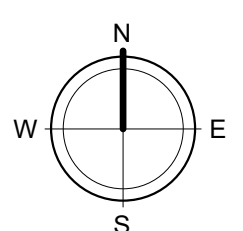
UNIT TYPE LEGEND

A1	A1.1	A1-A
BASE UNIT	UNIT VARIATION	MOBILITY ACCESSIBLE UNIT



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1 OVERALL PLAN - LEVEL 14
 3/32" = 1'-0"



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ISSUE DATE	DESCRIPTION	REVISION
09/20/22	SCHEMATIC DESIGN	
11/16/22	DESIGN DEVELOPMENT	
1/20/23	30% CONSTRUCTION DOCUMENTS	

REVISION DATE	DESCRIPTION	REV

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OVERALL PLAN - LEVEL 15
 DESIGN REVIEW SUBMITTAL

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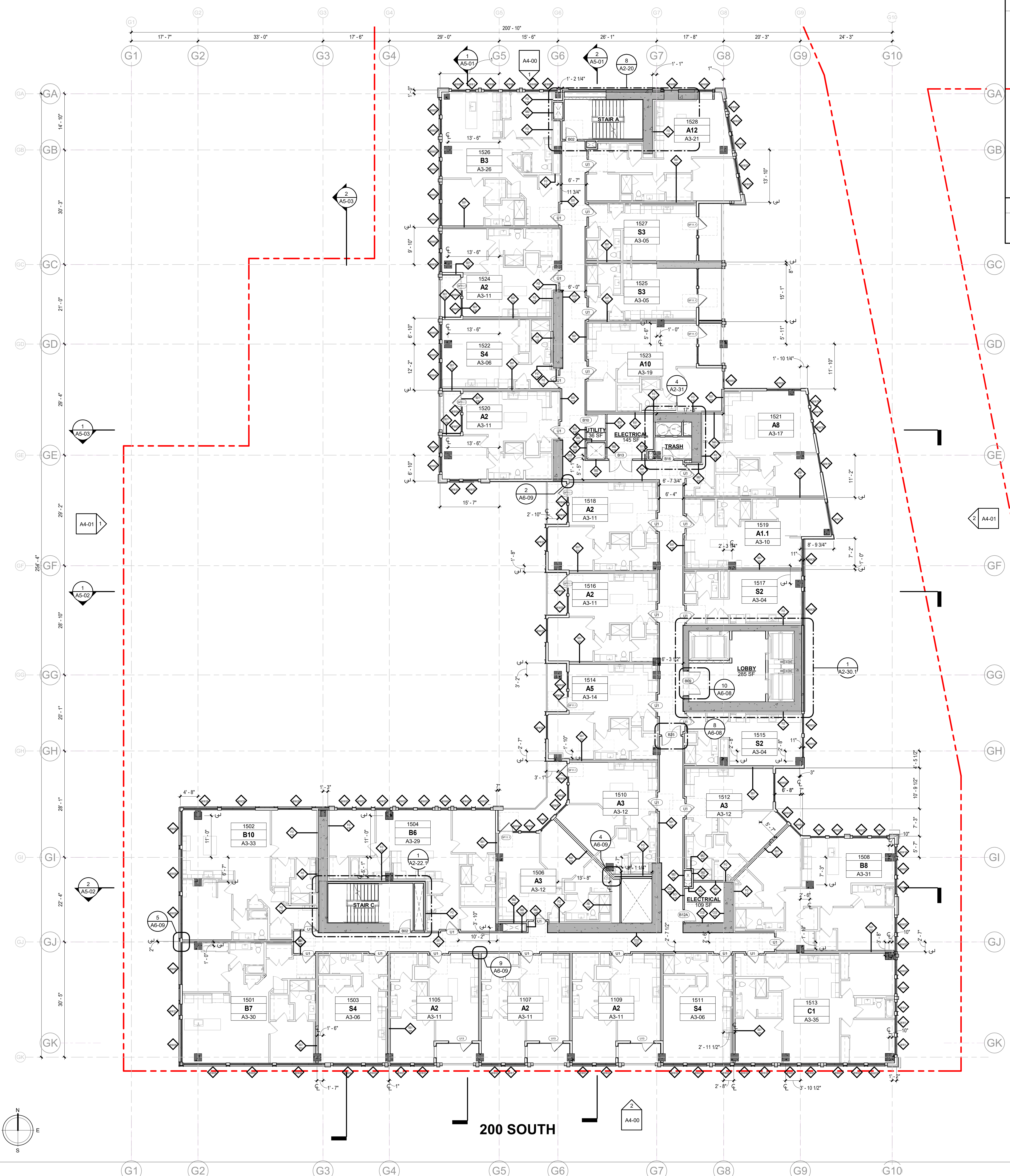
A1-15

FLOOR PLAN NOTES

- ALL DIMENSIONS ARE TO THE FACE OF STUD/ STRUCTURE UNLESS OTHERWISE NOTED.
- REFER TO SHEET CD-70 THRU CD-75 FOR PARTITION DETAILS.
- ALL TENANT SEPARATION WALL ARE 1-HR RATED PER UL4 W475.
- ALL CORRIDOR WALL ARE 1-HR RATED PER UL4 U419.
- SEE UNIT PLANS (A3 SERIES) AND ENLARGED CORE PLANS (A2 SERIES) FOR ADDITIONAL WALL OR DOOR TAGS.
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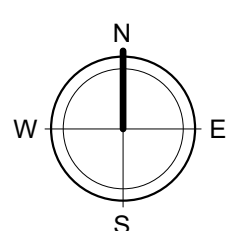
UNIT TYPE LEGEND

A1	A1.1	A1-A
BASE UNIT	UNIT VARIATION	MOBILITY ACCESSIBLE UNIT



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1 OVERALL PLAN - LEVEL 15
 3/32" = 1'-0"



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ISSUE	DATE	DESCRIPTION	BY
09/20/22		SCHEMATIC DESIGN	
11/02/22		DESIGN DEVELOPMENT	
		PERMITS, 50% CONSTRUCTION DOCUMENTS	

REVISION	DATE	DESCRIPTION	BY

NO.	DESCRIPTION

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OVERALL PLAN - LEVEL 16
 DESIGN REVIEW SUBMITTAL

JOB NUMBER:
 DRAWN BY: Author
 CHECKED BY: Checker

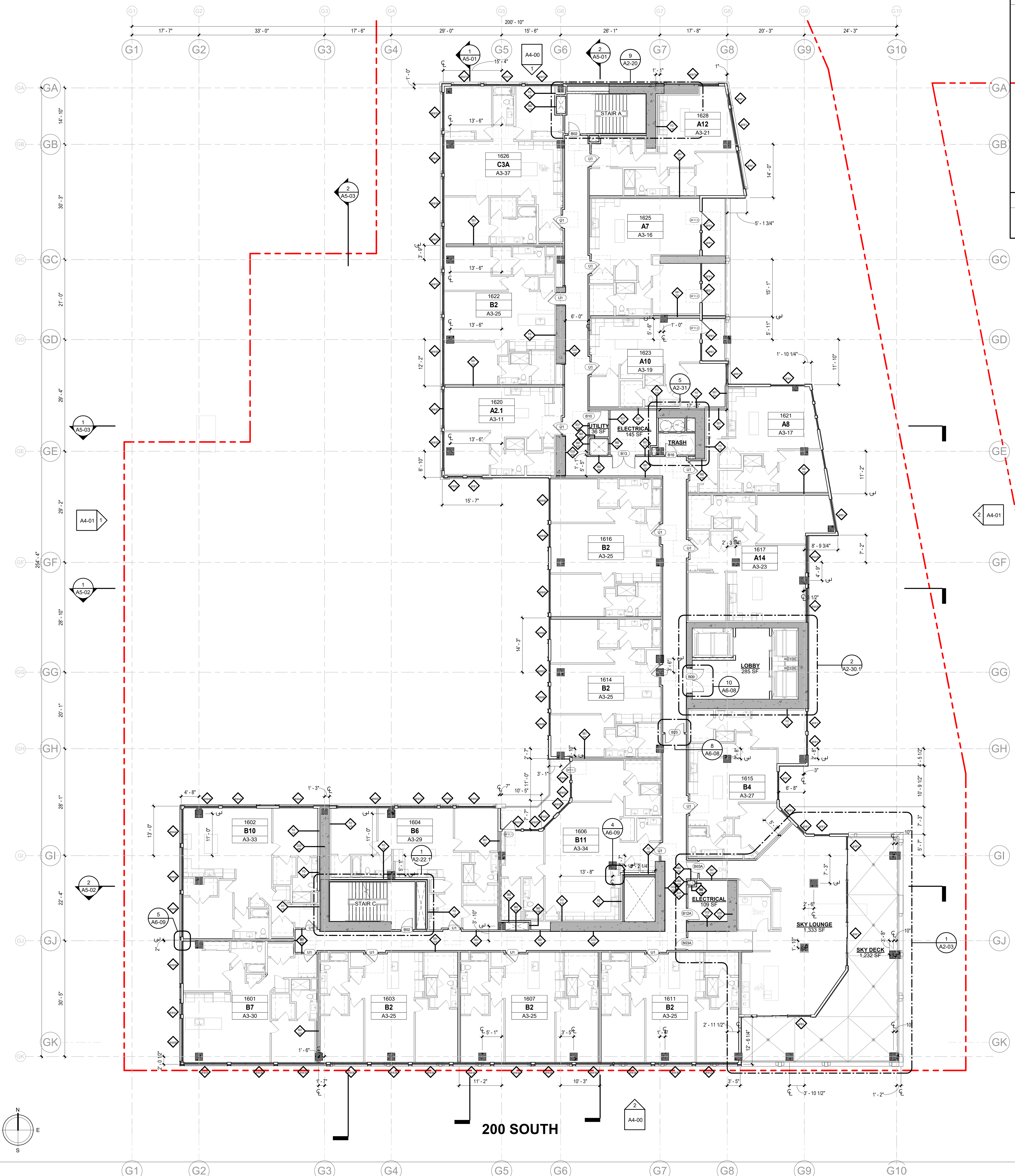
A1-16

FLOOR PLAN NOTES

- ALL DIMENSIONS ARE TO THE FACE OF STUD/ STRUCTURE UNLESS OTHERWISE NOTED.
- REFER TO SHEET CD-70 THRU CD-75 FOR PARTITION DETAILS.
- ALL TENANT SEPARATION WALL ARE 1-HR RATED PER UL4 W475.
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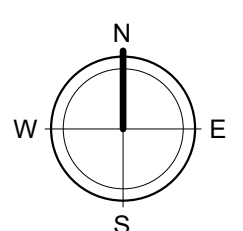
UNIT TYPE LEGEND

A1	A1.1	A1-A
BASE UNIT	UNIT VARIATION	MOBILITY ACCESSIBLE UNIT



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1 OVERALL PLAN - LEVEL 16
 3/32" = 1'-0"



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ISSUE	DATE	DESCRIPTION	REVISION
09/20/22	09/20/22	SCHEMATIC DESIGN	1
11/16/22	11/16/22	DESIGN DEVELOPMENT	2
12/08/22	12/08/22	30% CONSTRUCTION DOCUMENTS	3

REVISION	DATE	DESCRIPTION	REV

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OVERALL PLAN - ROOF
 DESIGN REVIEW SUBMITTAL

JOB NUMBER:
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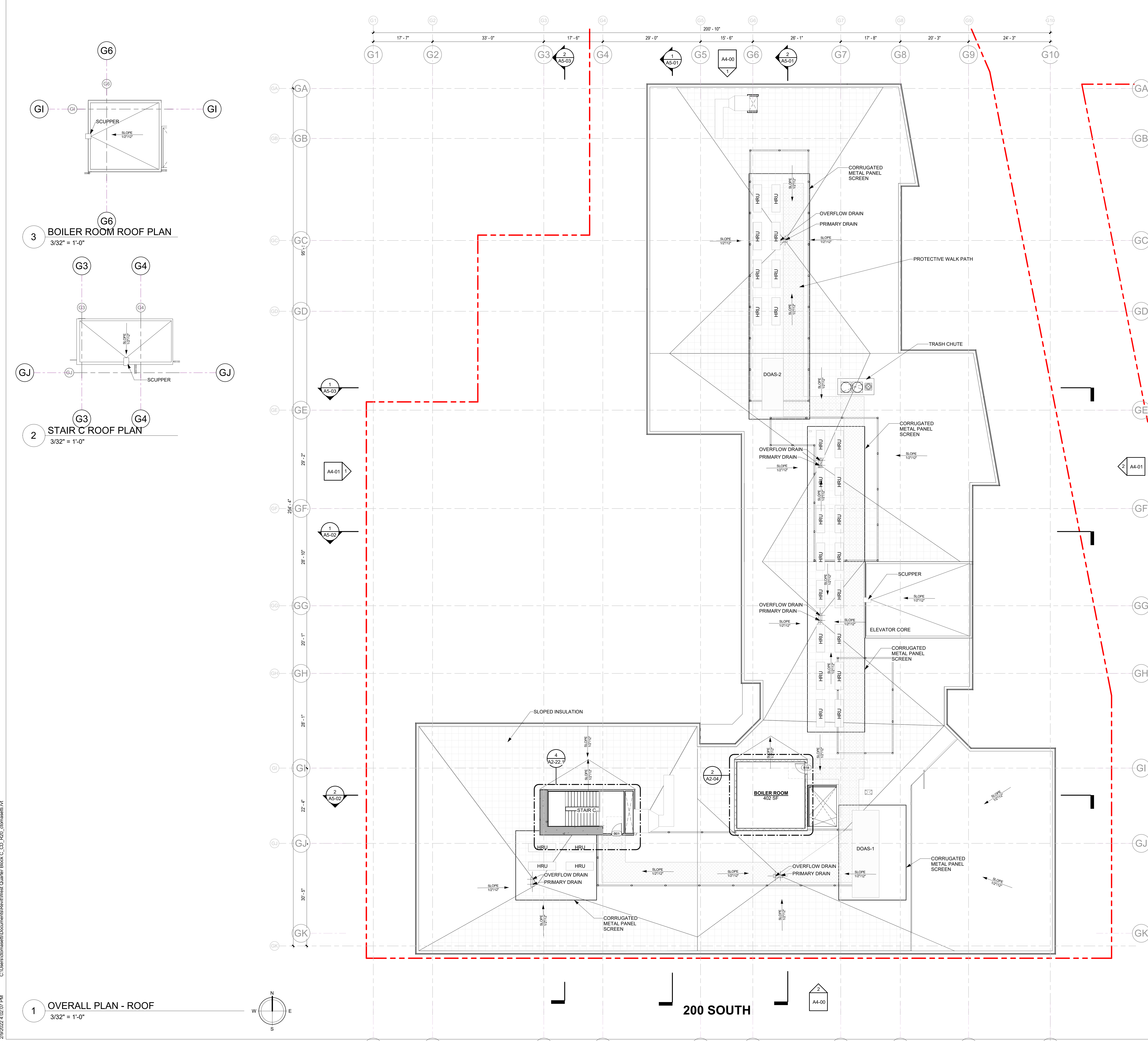
A1-20

FLOOR PLAN NOTES

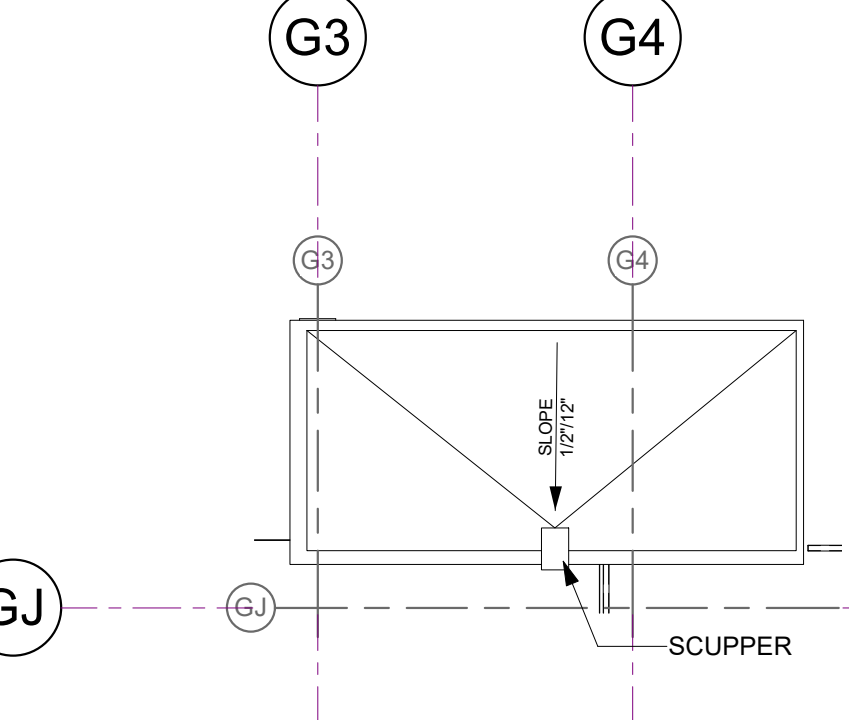
- ALL DIMENSIONS ARE TO THE FACE OF STUD STRUCTURE UNLESS OTHERWISE NOTED.
- REFER TO SHEET CD-70 THRU CD-75 FOR PARTITION DETAILS.
- ALL TENANT SEPARATION WALL ARE 1-HR RATED PER ULI# W475.
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UNIT TYPE LEGEND

A1	A1.1	A1-A
BASE UNIT	UNIT VARIATION	MOBILITY ACCESSIBLE UNIT



3 BOILER ROOM ROOF PLAN
 3/32" = 1'-0"



2 STAIR C ROOF PLAN
 3/32" = 1'-0"



1 OVERALL PLAN - ROOF
 3/32" = 1'-0"

ISSUE	DATE	DESCRIPTION	REVISION
09/20/22		SCHEMATIC DESIGN	X
11/09/22		DESIGN DEVELOPMENT	X
12/06/22		30% CONSTRUCTION DOCUMENTS	X

REVISION	DATE	DESCRIPTION	BY

NO.	DESCRIPTION	DATE

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PROJECT NAME:
 NORTH & SOUTH ELEVATIONS

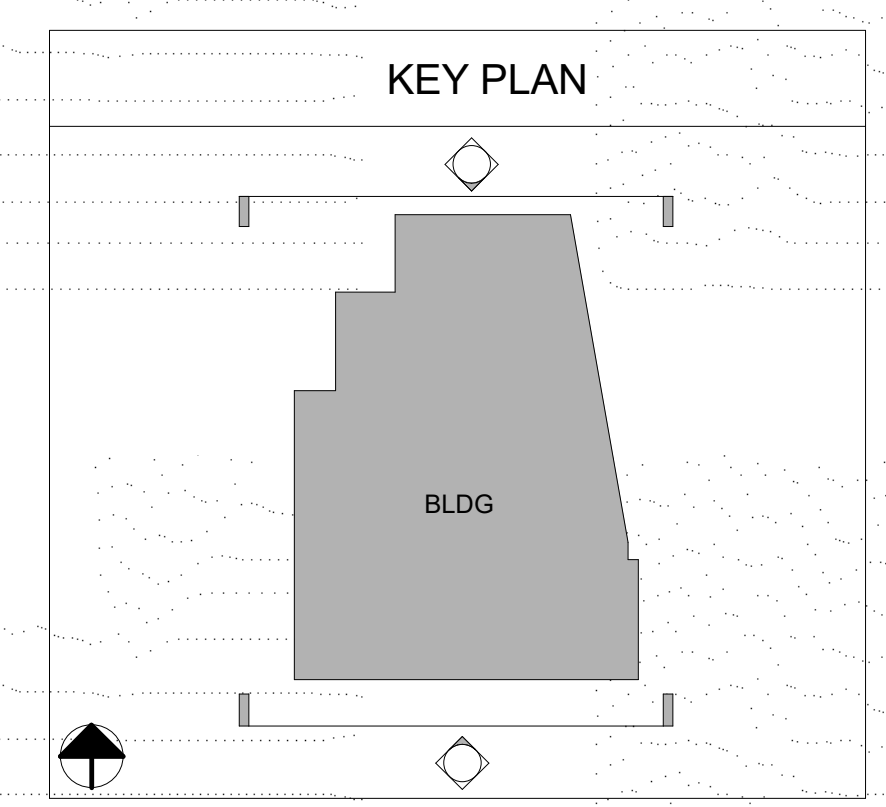
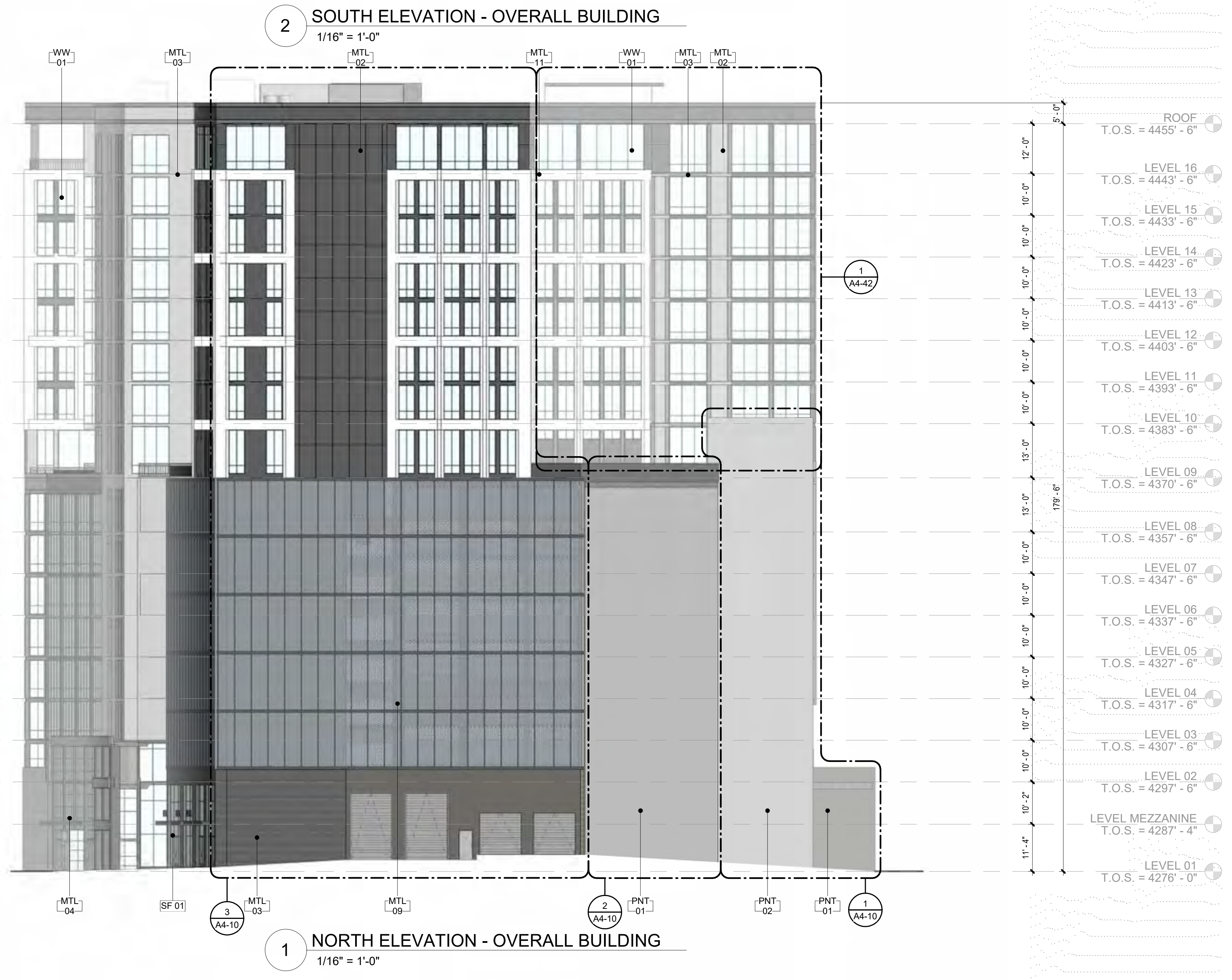
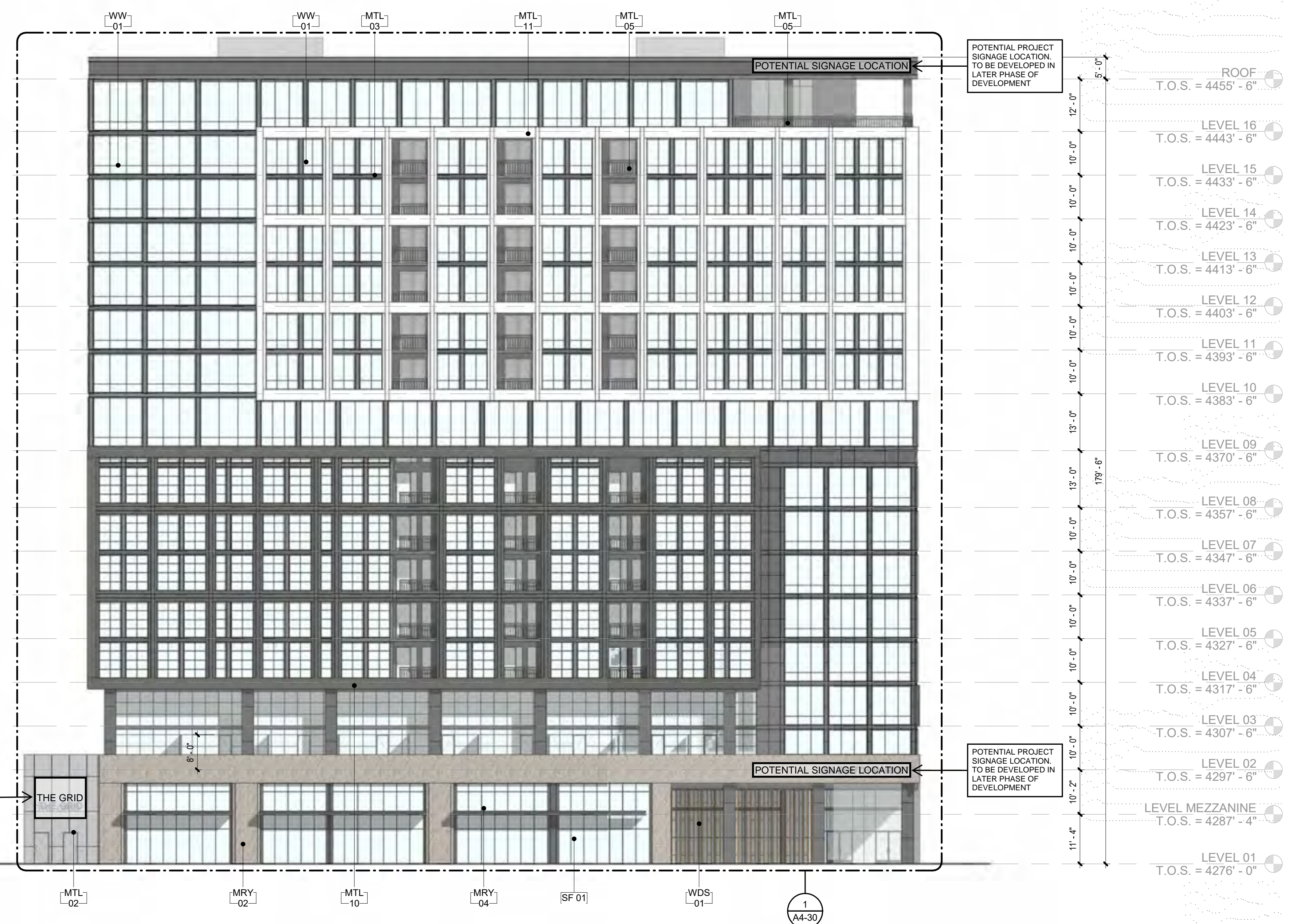
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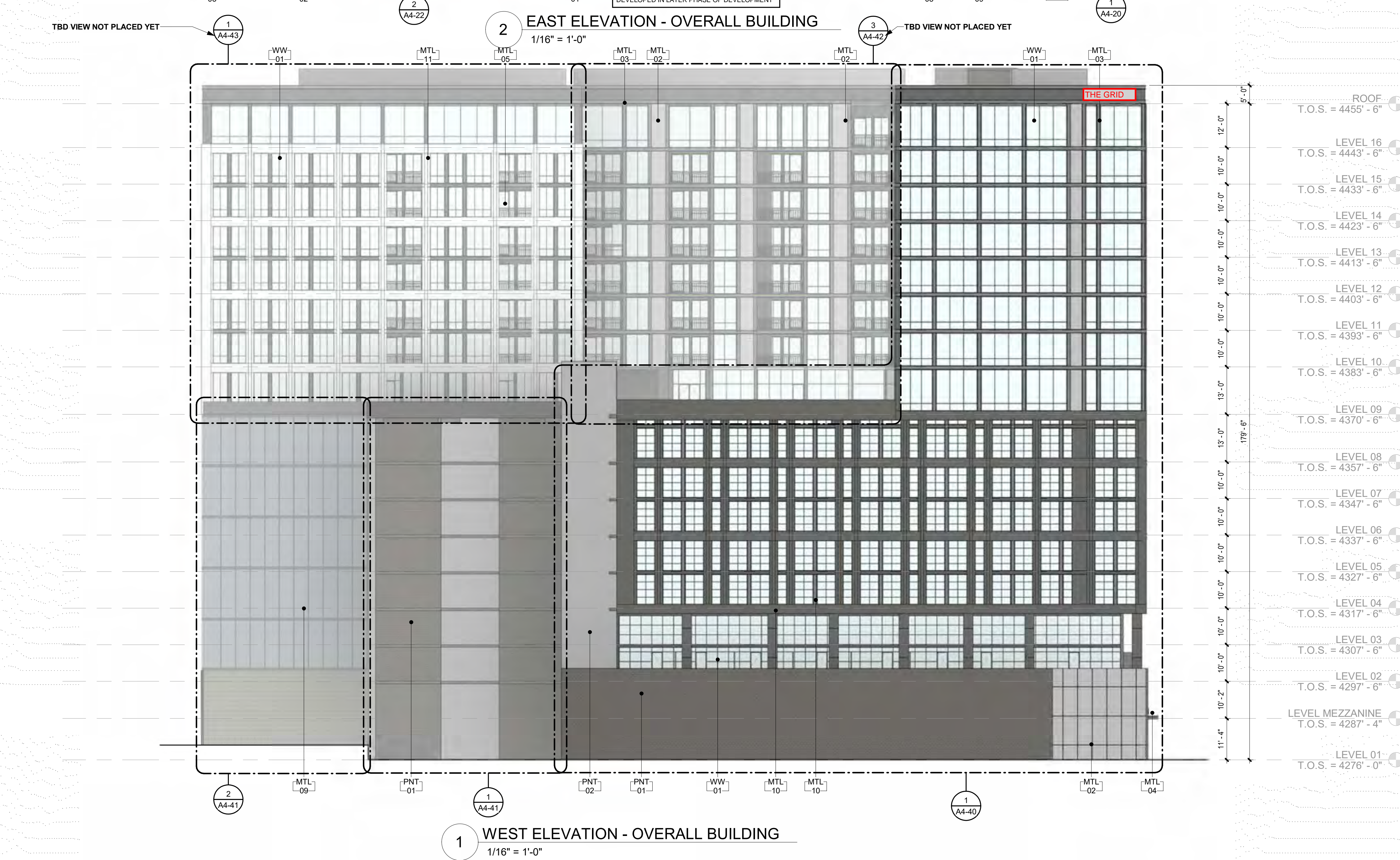
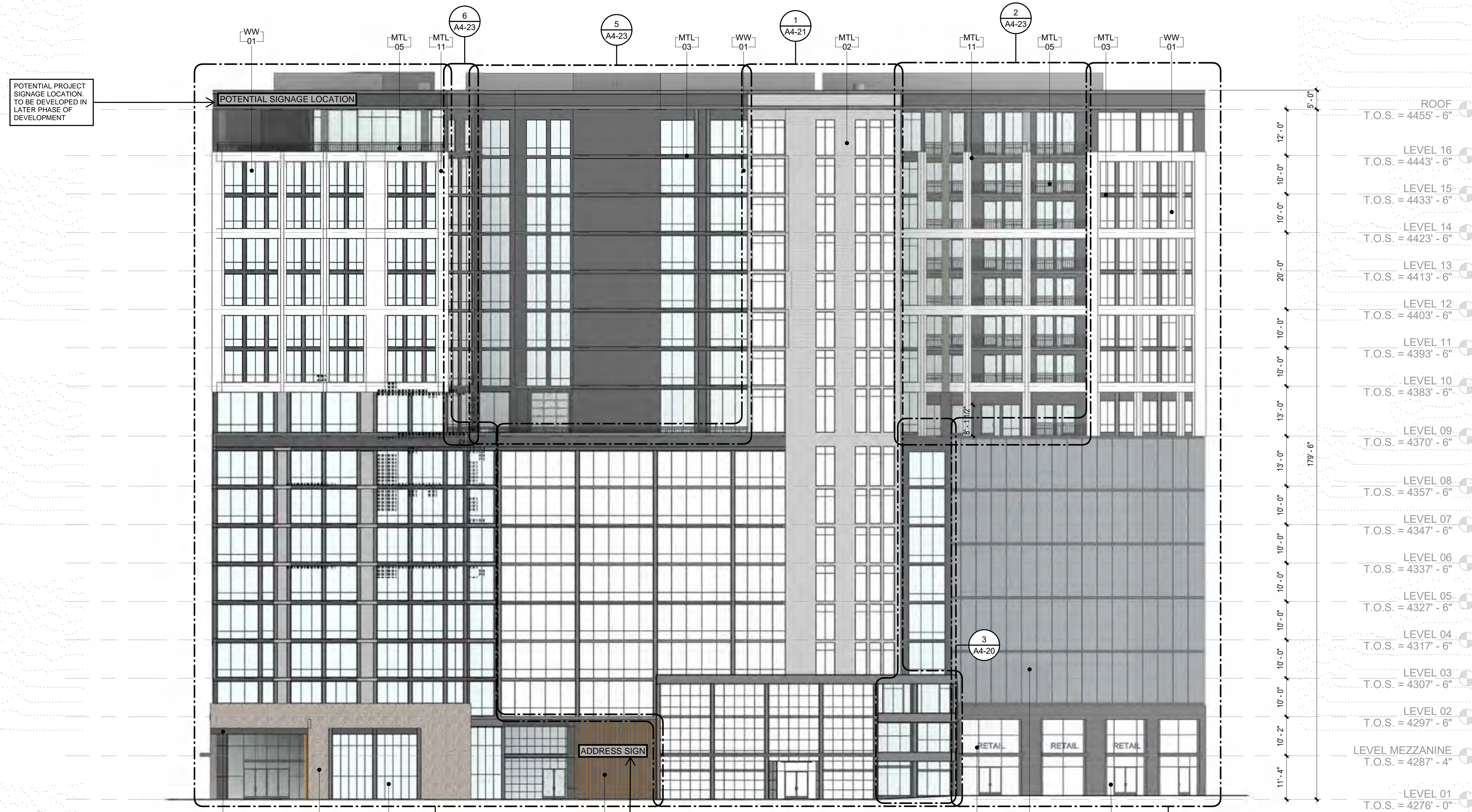
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A4-00

EXTERIOR FINISH LEGEND		MANUFACTURER & COLOR INFORMATION
MRY_01	MODULAR BRICK - DARK	
MRY_02	MODULAR BRICK - LIGHT	
MRY_03	GROUNDFACE CMU - GRAY	
MTL_01	ACM METAL PANEL - CHARCOAL	
MTL_02	CORRUGATED METAL PANEL - CHARCOAL	
MTL_03	CHANNEL SHAPED ALUM. PANEL - CHARCOAL	
MTL_04	PRE-FABRICATED METAL CANOPY - DARK BROWN	
MTL_05	ALUM. POST BALCONY RAILING - DARK BRONZE	
MTL_06	ALUM. MESH BALCONY RAILING W/ GLASS PANELS - DARK BRONZE	
MTL_07	ARCHITECTURAL METAL SCREENING - WOOD FINISH	
MTL_08	ARCHITECTURAL METAL SIGNAGE	
MTL_09	MESH GARAGE SCREENING SYSTEM	
MTL_10	ALUM. MATTE BLACK - DARK	
MTL_11	ALUM. CHAMPAGNE - LIGHT	
SF_01	ALUM. STOREFRONT SYSTEM - DARK BRONZE	
WW_01	WINDOW WALL SYSTEM - DARK BRONZE	
GENERAL NOTES		





EXTERIOR FINISH LEGEND		MANUFACTURER & COLOR INFORMATION
MRY 01	MODULAR BRICK - DARK	
MRY 02	MODULAR BRICK - LIGHT	
MRY 03	GROUNDFACE CMU - GRAY	
MTL 01	ACM METAL PANEL - CHARCOAL	
MTL 02	CORRUGATED METAL PANEL - CHARCOAL	
MTL 03	CHANNEL SHAPED ALUM. PANEL - CHARCOAL	
MTL 04	PRE-FABRICATED METAL CANOPY - DARK BROWN	
MTL 05	ALUM. POST BALCONY RAILING - DARK BRONZE	
MTL 06	ALUM. MESH BALCONY RAILING W/ GLASS PANELS - DARK BRONZE	
MTL 07	ARCHITECTURAL METAL SCREENING - WOOD FINISH	
MTL 08	ARCHITECTURAL METAL SIGNAGE	
MTL 09	MESH GARAGE SCREENING SYSTEM	
MTL 10	ALUM. MATTE BLACK - DARK	
MTL 11	ALUM. CHAMPAGNE - LIGHT	
SF 01	ALUM. STOREFRONT SYSTEM - DARK BRONZE	
WW 01	WINDOW WALL SYSTEM - DARK BRONZE	
GENERAL NOTES		

ISSUE	DATE	DESCRIPTION	REVISED
09/2022		SCHEMATIC DESIGN	
11/2022		DESIGN DEVELOPMENT	X
02/2023		50% CONSTRUCTION DOCUMENTS	X

REVISION	DATE	DESCRIPTION	REVISED

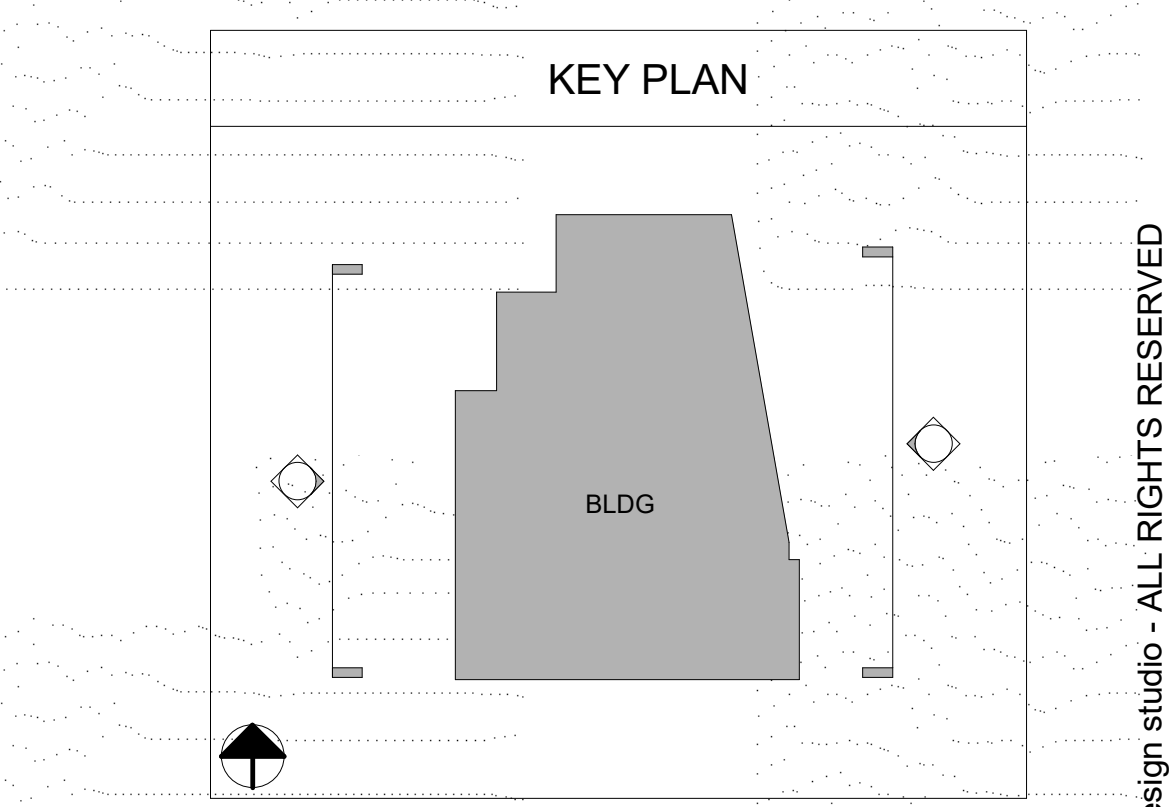
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DATE: 02/2023
PROJECT: EAST & WEST ELEVATIONS

DESIGN REVIEW SUBMITTAL

JOB NUMBER:
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A4-01



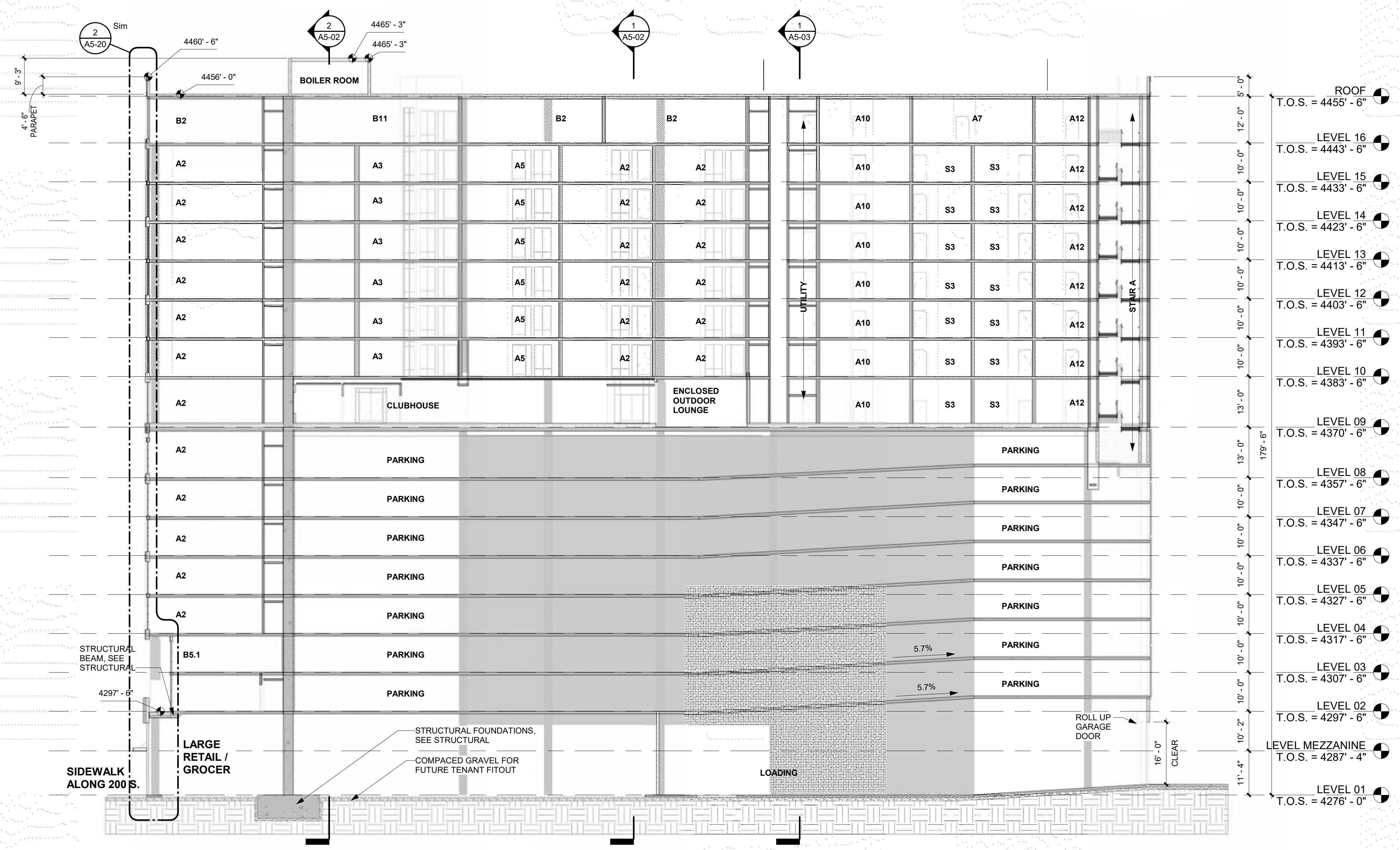
ISSUE NO.	DESCRIPTION	REVISED
09/2022	SCHEMATIC DESIGN	X
11/2022	DESIGN DEVELOPMENT	X
02/2023	50% CONSTRUCTION DOCUMENTS	X

REVISION NO.	DESCRIPTION	REVISED

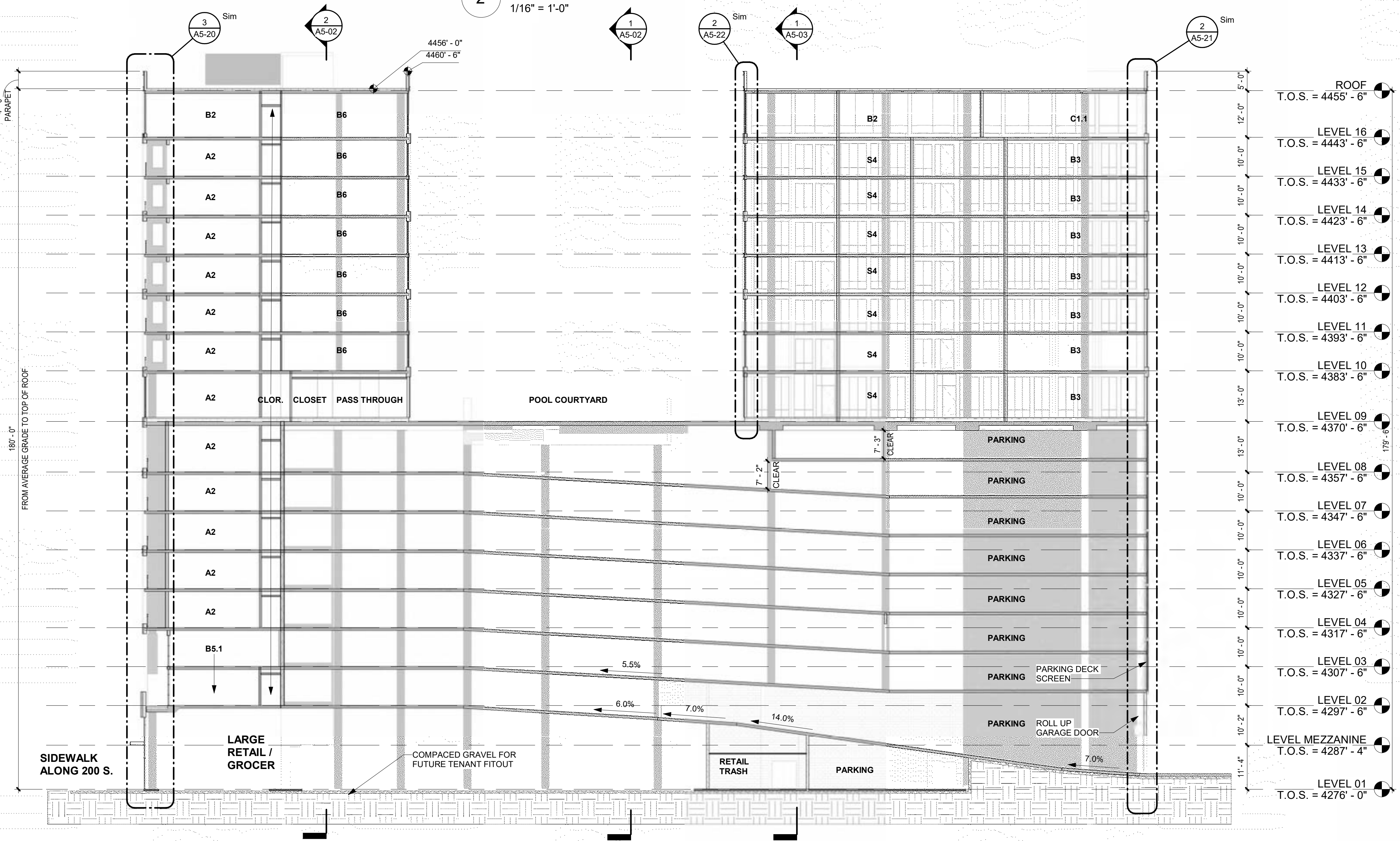
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NORTH - SOUTH BUILDING SECTIONS
 DESIGN REVIEW SUBMITTAL

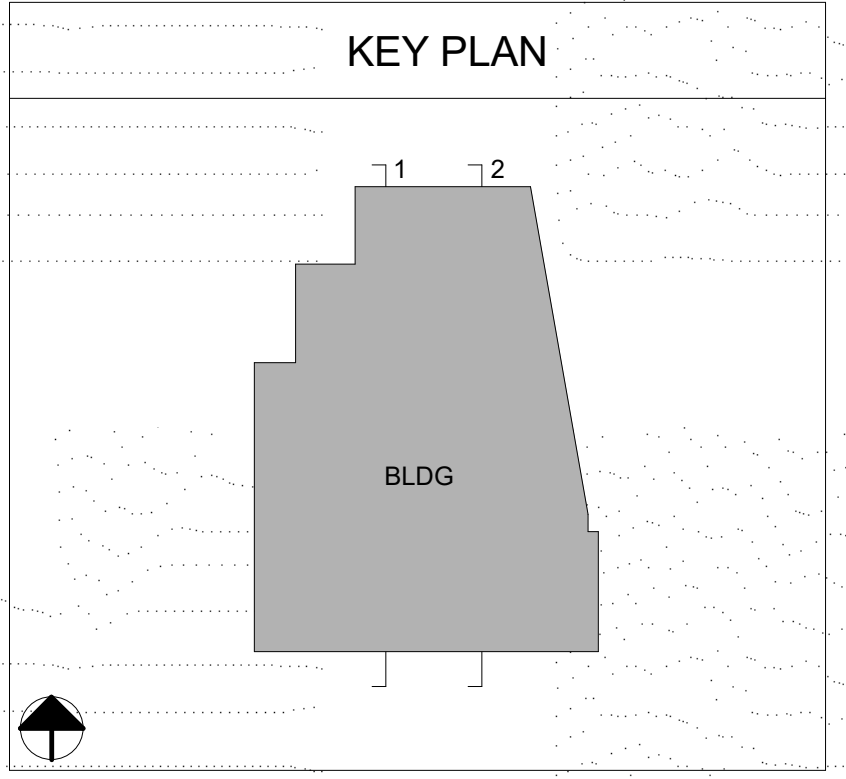
JOB NUMBER:
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2 NORTH - SOUTH BUILDING SECTION B
 1/16" = 1'-0"



1 NORTH - SOUTH BUILDING SECTION A
 1/16" = 1'-0"



ISSUE	DATE	DESCRIPTION	REVISED
09/20/22	09/20/22	SCHEMATIC DESIGN	X
11/16/22	11/16/22	DESIGN DEVELOPMENT	X
02/02/23	02/02/23	CONSTRUCTION DOCUMENTS	X

REVISION	DATE	DESCRIPTION	BY

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EAST - WEST BUILDING SECTIONS

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A5-02

